

24 Bay Street, Double Bay

Flood Impact Assessment

►► **Revision 3**
October 2021

Catchment Simulation Solutions



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1 INTRODUCTION

Catchment Simulation Solutions has been commissioned by Brooklyn Lane Investment Pty Ltd to undertake a flood impact assessment for the proposed refurbishment and addition works at 24 Bay Street, Double Bay (also known as “Gaden House”). The works include refurbishment of the existing building and the addition of two new floors. The location of the property (the site) is shown in **Figure 1**, which is enclosed in **Appendix A**.

The outcomes of computer flood modelling completed as part of the ‘*Double Bay Floodplain Risk Management Study and Plan*’ (Bewsher Consulting, 2011) indicates that the site is potentially flood liable. As such, the proposed development must meet the flood-related requirements and controls detailed in Chapter E2 of the Woollahra Development Control Plan 2015 (DCP 2015).

In recognition of these requirements, the flood impact assessment included the following work:

- Review the current flood model and adjust as necessary to provide a reliable description of local flood behaviour under existing conditions
- Provide advice on meeting the applicable flood related development controls
- Define flood behaviour with the proposed works in place, including any flood mitigation works
- Quantify the potential for the development to impact on flood behaviour across neighbouring properties.

The following report summarises the outcomes of the assessment.

2 EXISTING FLOOD BEHAVIOUR

2.1 General

To understand the flood liability of the existing site and the potential impact of the proposed works on flood behaviour, it is first necessary to define flood behaviour for “existing” conditions. “Existing” flood behaviour for this area has most recently been defined using a computer flood model that was used as part of the *‘Double Bay Floodplain Risk Management Study and Plan’* (Bewsher Consulting, 2011). The flood model was developed using the TUFLOW software.

This TUFLOW model was provided by Woollahra Municipal Council for use as part of the current study to define existing flood behaviour. However, the model was first updated and refined to provide an improved description of existing flood behaviour. Further details on the updates that were completed to the model along with the updated model results is presented below.

2.2 TUFLOW Modelling

2.2.1 Model Updates

The TUFLOW model used as part of the *‘Double Bay Floodplain Risk Management Study and Plan’* (Bewsher Consulting, 2011) was developed to provide an understanding of flood behaviour across the full extent of the Double Bay catchment. To provide a more detailed and reliable understanding of existing flood behaviour in the immediate vicinity of the site, it was necessary to update and refine the model. The following updates were completed to the model:

- Detailed ground and floor level survey collected by SDG land development solutions in October 2020 (survey provided in **Appendix B**) was included to represent features within the site, as well as the footpath, kerb and roadway adjacent to the site,
- Solid obstructions such as internal/exterior walls were represented across the site as well as surrounding properties,
- Two additional stormwater pits located on the corner of Brooklyn Lane and Cooper Street were added to the model based on detailed site survey,
- Refinement of the representation of buildings on adjacent properties was made based on survey and site inspection.

2.2.2 Model Results

The updated TUFLOW model was used to simulate the 1% Annual Exceedance Probability (AEP) flood for existing conditions. As per the *‘Double Bay Floodplain Risk Management Study and Plan’*, the 25 minute and 2 hour storm durations were both simulated and enveloped to produce the “worst case” flood behaviour across the catchment, including the development site.

Peak flood depths and levels for the 1% AEP event were extracted from the results and are presented in **Figure 2**. As shown in **Figure 2**, flood depths of up to 0.4 metres are predicted on Brooklyn Lane and on Cooper Street, as well as on Bay Street directly adjacent to the site. Depths of over 0.2 metres are predicted to inundate the loading bay through the pervious roller door, with this flow also extending into the western half of the ground floor of the existing building (albeit with shallower depths).

Although the lower ground floor is not explicitly included within the model, water is predicted to be sufficiently elevated to overtop the access stairs on the corner of Cooper and Bay Streets (the stairs are shown in **Plate 1**). Therefore, it is likely that the lower ground floor would be subject to more significant inundation depths during the 1% AEP flood.



Plate 1 View looking south from Cooper Street (near Bay Street intersection) showing stairs that provide access into the lower ground floor (Google, 2021)

Peak 1% AEP flood levels were extracted at various locations around the perimeter of the site and are presented in **Table 1**. The locations where the flood levels were extracted is shown on **Figure 2**. The existing building floor level adjacent to each flood level extraction point is also provided for comparison purposes.

Peak 1% AEP velocity-depth product (VxD) results were also extracted and are presented in **Figure 3**. This shows that the peak VxD across the ground floor remains below $0.4 \text{ m}^2/\text{s}$. The low VxD is associated with the shallow inundation depths and generally slow-moving nature of the flood water within the ground floor. As a result, the speed and depth of floodwaters is unlikely to present a significant risk to people located within the existing building.

Table 1 : Selected flood levels at reporting locations

Location Id	Description	Existing Level (mAHD)	Peak 1% AEP Flood Level (mAHD)
1	Loading Bay	4.21	4.55
2	Retail 1	4.10	4.06
3	Retail 2	4.10	4.06
4	Retail 3	4.54	4.08
5	Staircase	3.77	4.08
6	Proposed location of new accessible lobby (at street level)	3.97	4.08

However, sections of Brooklyn Ln and Cooper St adjacent to the building are predicted to experience VxD values of up to $0.7\text{m}^2/\text{s}$. VxD values of this magnitude indicate it would be unsafe for people and vehicles to traverse these roadways at the peak of the flood.

3 POST-DEVELOPMENT FLOOD BEHAVIOUR

Plans of the proposed development are enclosed in **Appendix C**. As shown in **Appendix C**, the proposed development will include:

- The conversion of the existing roof into a third level commercial tenancy.
- Addition of a new fourth level with commercial tenancy.
- Modifications to the existing ground floor retail space and alterations to allow a new accessible lobby from Bay Street.
- Lowering of floor levels across a portion of the lower ground floor to match existing adjacent floor levels, including additional risers at the bottom of the existing stairs to match the modified lower ground floor level.
- Construction of fire stairs and a lift between all existing and proposed levels of the building.

The proposed works are fully contained within the existing building footprint and no additional floor area is proposed to the ground or lower ground levels.

As detailed in the previous chapter, the ground floor is predicted to be subject to partial inundation at the peak of the 1% AEP flood as a result of water entering the Brooklyn Ln loading bay. Therefore, an automated mechanical flood gate (flood proof roller door) is to be installed across the loading bay entrance to prevent water from entering the ground floor at this location. The top of the flood gate will be located 0.5 metres above the peak 1%AEP flood level (i.e., 5.05 mAHD), and would, by default, always be in the “closed” position unless a vehicle is accessing the loading bay.

3.1 TUFLOW Modelling

3.1.1 Model Updates to Reflect Development

As outlined above, no modifications to the building “footprint” are proposed as part of the development. However, inclusion of the flood gate would serve as an additional flow obstruction by preventing the ingress of water into the building via the loading bay. Therefore, the TUFLOW model was updated to include a representation of this additional obstruction.

The elevations assigned to the ground floor were also modified in the model at the south-eastern corner of the building to reflect the proposed accessible lobby by matching levels to the Bay St frontage and ramping up into the building. Additionally, the elevations at the base of the access stairs to the lower ground floor were adjusted to match the modified internal lower ground floor levels.

3.1.2 Results

The updated TUFLOW model was then used to re-simulate the 1% AEP flood for ‘post-development’ conditions. Peak floodwater depths and levels were extracted from the results

of the modelling and are presented in **Figure 4**. Peak VxD were also extracted from the ‘post-development’ model and are presented in **Figure 5**.

Figure 4 shows that inclusion of the flood gate at the loading bay is predicted to prevent inundation of the ground floor from Brooklyn Lane. However, more significant depths are predicted near the north-eastern corner of the site. This is associated with the lower ground levels around the base of the modified stairs.

Figure 5 shows very little change in VxD relative to existing conditions with the VxD across most areas predicted to remain below $0.4\text{m}^2/\text{s}$. As discussed, inclusion of the flood gate will remove inundation across the ground floor and, therefore, will effectively eliminate the flood risk across the ground floor during the 1% AEP flood. However, it is noted that the change in elevations at the base of the lower ground floor access stairs is predicted to result in a small area exposed to a VxD of more than $0.4\text{m}^2/\text{s}$ (although the maximum VxD at this location is only $0.41\text{m}^2/\text{s}$).

3.1.3 Assessment of Flood Impacts

Flood level difference mapping was prepared to quantify the potential for the proposed development to impact on existing flood levels and extents. The difference mapping was prepared by subtracting peak “existing” water levels from peak “post-development” water levels. The flood level difference mapping is presented on **Figure 6** for the 1% AEP event.

The difference mapping presented in **Figure 6** indicates that the proposed development is predicted to produce some minor changes in flood level and extent in the vicinity of the site. **Figure 6** shows that all retail areas are predicted to become “flood free” (refer black areas in **Figure 6**). The changes in flood extent that are predicted within the retail and loading bay area are primarily a result of the flood gate which retains flow within Brooklyn Ln. Due to the relatively small volume of flow being redirected, the flood level impacts on Brooklyn Ln and surrounding streets and properties are predicted to be less than 0.01 metres and are considered negligible.

A small increase in inundation extent is predicted near the south-eastern corner of the site and is associated with the new accessible access lobby to the site from Bay St. This area of increased inundation is isolated to the accessible lobby and does not extend further into the ground floor as the lobby slopes gently upwards into the site.

VxD difference mapping was also prepared and is presented in **Figure 7**. It shows a localised reduction in VxD directly adjacent to the new loading bay flood gate due to the removal of the existing flow path into the ground floor. As previously discussed, an increase in VxD is predicted near the base of the access stairs to the lower ground floor. Although it appears the VxD impacts extend just beyond the site boundary, this is a function of the hydraulic model resolution which does not allow fine scale representation of features (i.e., sub 2 metre features cannot be represented in the model).

Overall, the proposed refurbishment is predicted to generate localised changes in flood level and VxD which are contained within the site and are not predicted to have a significant impact on existing flood behaviour outside of the development site.

3.2 Woollahra Municipal Council Requirements

3.2.1 Woollahra Development Control Plan (DCP) 2015

The development site falls within the Woollahra Municipal Council Local Government Area. Therefore, the proposed development should comply with the requirements of Council's Development Control Plan (DCP 2015). This includes Chapter E2 which relates to stormwater and flood risk management.

However, the development is seeking a concession to the flood-related requirements of the DCP for the following reason:

- The works proposed are additions/alterations only. The additions occur from the existing roof level and higher (no additions are proposed on the ground or lower ground levels). That is, all additions are located well above the flood planning level and are, therefore, not subject to flood-related development controls.
- The alterations being undertaken on the ground and lower ground levels are to provide accessible access from Bay St, provide fire stairs for emergency egress, and alter lower ground floor levels to create a homogeneous floor level to allow an effective retail space and remove the existing low head height section of this level.
- The new accessible access from Bay St will be connected to a lobby located at 4.10m AHD, which is above the peak 1% AEP flood level (4.08m AHD). Although the lift will not meet the flood protection level, the proposed lobby level will ensure the lift is protected from inundation at the peak of the 1% AEP event, while still providing accessible access and ensuring the heritage constraints of the existing building are not compromised. The fire stairs will be protected up to the flood planning level of 4.58m AHD.
- Large sections of the building are of heritage significance and remaining sympathetic to this is a project objective.
- The ground and lower ground levels will be used for retail and maintaining the current floor levels will allow accessible access from the street level and optimise retail potential.

Although the development is seeking a concession to the development requirements, it is acknowledged that the ground and lower ground floors are potentially liable to inundation. In this regard, the proposed alterations will provide an improvement from a flood risk management perspective. In particular:

- The proposed flood gate (flood proof roller door) will reduce the potential for inundation of the ground floor during floods up to and including the 1% AEP flood. Therefore, there will be less frequent inundation of the ground floor and, therefore, lower risk to occupants and less potential for flood damage.
- The inclusion of new fire stairs and lift will provide a new evacuation route from all levels (including the lower ground floor). Therefore, if water happens to be entering the lower ground floor from the main staircase, two alternate evacuation routes to the elevated levels of the building above the peak PMF level will be available.
- No major electrical components of the lift will be located below the flood protection level

Therefore, it is considered that the development will afford improvements to the existing building from a flood risk management perspective.

Nevertheless, despite the improvements that will be afforded by the alterations, it is acknowledged that there is still potential for inundation of the ground and lower ground floor during heavy rainfall in the catchment. Therefore, a residual flood risk will remain. In this regard a flood emergency response plan has been prepared to manage this risk. The response plan is discussed in more detail in **Section 3.3**.

3.2.2 Woollahra Local environment Plan (WLEP) 2014

The Woollahra Local Environment Plan (2014) has recently been amended (14th July 2021) to outline of a number of requirements and matters that need consideration when deciding to grant development consent on flood liable land.

Section 5.21(2) and 5.21(3) of WLEP primarily deals with ways in which the proposed development will interact and impact on existing flood behaviour, and how flood risk is managed. These requirements are largely addressed within **Section 3.2.1** and **Section 3.3** of this assessment, however, the manner in which this applies to the proposed works is summarised in **Table 2**.

Table 2 Woollahra Municipal Council LEP 2014 Requirements

Council Requirement	Does Development Meet this Requirement?
Section 5.21(2)	
a) The development is compatible with the flood function and behaviour on the land	A concession is being sought to some of the flood related development controls, with justification for the concessions outlined in Section 3.2.1
b) The development will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties	The proposed development is not predicted to produce any adverse impact on flood behaviour on other developments or property as per Figure 6 and Figure 7
c) The development will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood	An appropriate evacuation strategy has been established as per Section 3.3 which will not exceed the capacity of existing evacuation routes for the surrounding area, and will incorporate measures to manage risk to life (through a shelter-in-place strategy)
d) The development incorporates appropriate measures to manage risk to life in the event of a flood	As per Section 3.3 , the development will comprise of a number of floors above the peak level of the Probable Maximum Flood that will allow for evacuate to the upper floors via the fire stairs and/or lift
e) The development will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses	The proposed works do not adversely impact the environment (as they are no different to existing conditions)

Council Requirement	Does Development Meet this Requirement?
Section 5.21(3)	
a) The development needs to consider the impact of the development on projected changes to flood behaviour as a result of climate change	<p>Computer flood modelling including climate change for the year 2100 was completed as part of the '<i>Double Bay Floodplain Risk Management Study and Plan</i>' (Bewsher Consulting, 2011). This modelling applied a 0.9 metre increase in sea level and a 10% increase in rainfall intensity to reflect future climate change conditions. The outcome of this modelling indicates that flood levels in the vicinity of the site are likely to rise by between 0.02 metres (at the western side of the development site) and 0.1 metres (at the eastern side of the development site).</p> <p>The impact of the proposed works on existing 1% AEP flood levels and VxD shown on Figure 6 and Figure 7 are not anticipated to change significantly under climate change conditions as flood behaviour in the vicinity of the site is not particularly sensitive to increases in sea level rise or increased rainfall intensity.</p>
b) The development needs to consider the intended design and scale of buildings resulting from the development	No change to the overall design and scale of the building is proposed, other than additions and alterations to the existing building
c) The development needs to consider whether the development incorporates measures to minimise the risk to life and ensure the safe evacuation of people in the event of a flood	As per Section 3.3 , the development will comprise of a number of floors above the peak level of the Probable Maximum Flood that will allow for evacuation to the upper floors via the fire stairs and/or lift
d) The development needs to consider the potential to modify, relocate or remove buildings resulting from development if the surrounding area is impacted by flooding or coastal erosion	There is no potential to relocate or move the building

3.3 Flood Emergency Response Plan

Flooding in the vicinity of the site is generally associated with relatively short duration, high intensity rainfall bursts. As a result, minimal warning time would typically be available to evacuate from the site during a future flood. Moreover, the short warning time means that emergency services (e.g., SES) will be unlikely to offer assistance during future floods. Therefore, it is considered that the most appropriate response during significant future floods is to “shelter in place”. This would involve staying within the building until the flood has passed (as the flooding is typically “flashy”, this will typically require waiting for less than an hour).

As previously discussed, the building will comprise of a number of floors. This will include floors above the peak level of the Probable Maximum Flood (the largest flood that could occur). Therefore, in the event that inundation of the lower ground and/or ground floor does occur it will be possible to evacuate to the upper floors via the fire stairs and/or lift.

As the floor level of the ground and lower ground floors are below the 1%AEP + 0.5 metre level, it is important that retail tenants are aware of this flooding potential and the action that should be taken if such an event occurs. In this regard, it is recommended that the tenants prepare an Emergency FloodSafe Plan.

The FloodSafe Plan outlines tasks that should be completed before, during and after a flood to minimise the potential for damage to property and risk to life. This should, as a minimum, include the requirement that no stock is stored at floor level (i.e., all stock should be located on shelving that is elevated above the floor level) and include clear instructions on how to access the fire stairs and lift.

A template for an Emergency FloodSafe Plan is available from:

<http://www.sesemergencyplan.com.au/business/>

A draft Emergency FloodSafe Plan should be prepared for the ground and lower ground levels of the development (the building owners should be responsible for this requirement). The draft plan should then be reviewed by each ground / lower ground floor tenant, updated (if required) and “signed off” prior to the tenant taking occupation. The plan should be displayed in a prominent location in each tenancy. The plan should be introduced to all new employees and the implementation protocols should be rehearsed on a regular basis (suggested once per year).

4 REFERENCES

- Bewsher Consulting Pty Ltd (2011), Double Bay Catchment Floodplain Risk Management Study and Plan. Prepared for Woollahra Municipal Council
- Woollahra Municipal Council Development Control Plan (DCP 2015), Chapter E2 Stormwater and Flood Risk Management Part E – General Controls for all Developments







APPENDIX A

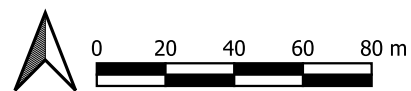
FIGURES



Figure 1
Site Locality

LEGEND

-  Site Location
-  Cadastral Boundary
-  Model Boundary
-  Suburb



Notes:
Aerial photograph: Nearmap 2020

Figure 2
Existing Flood Depth
1% AEP

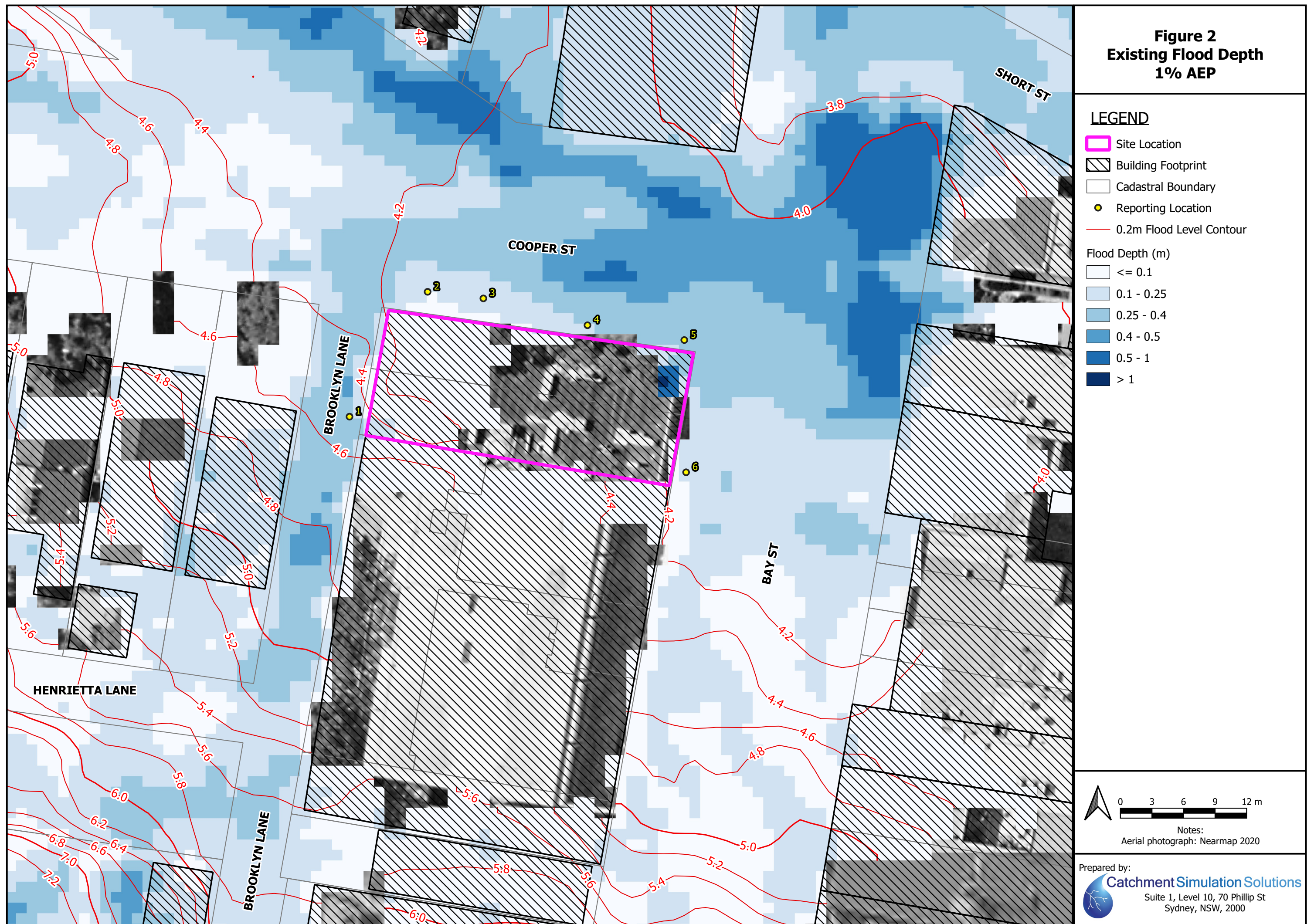
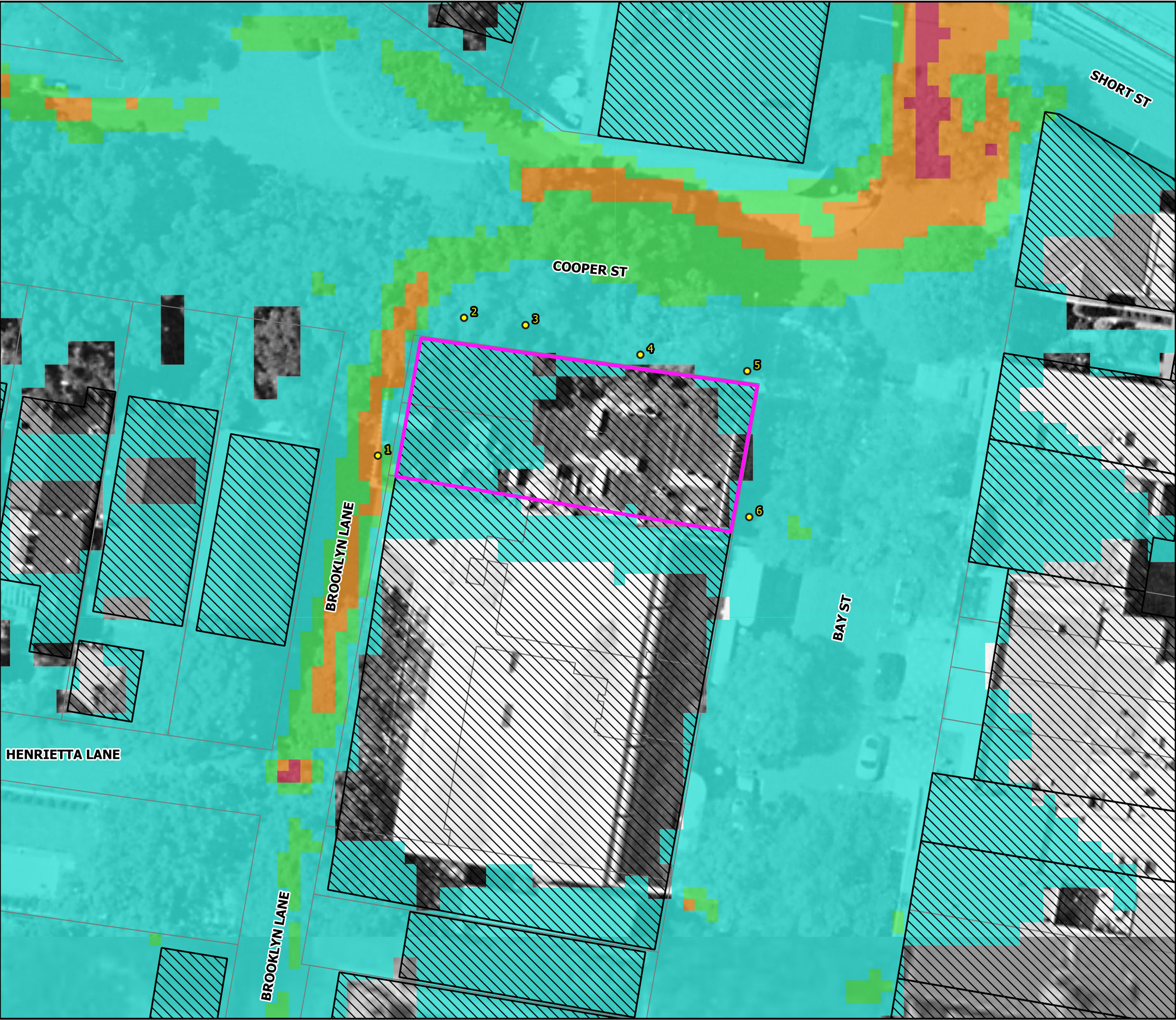


Figure 3
Existing VxD
1% AEP

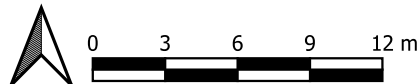


LEGEND

- Site Location
- Building Footprint
- Cadastral Boundary
- Reporting Location

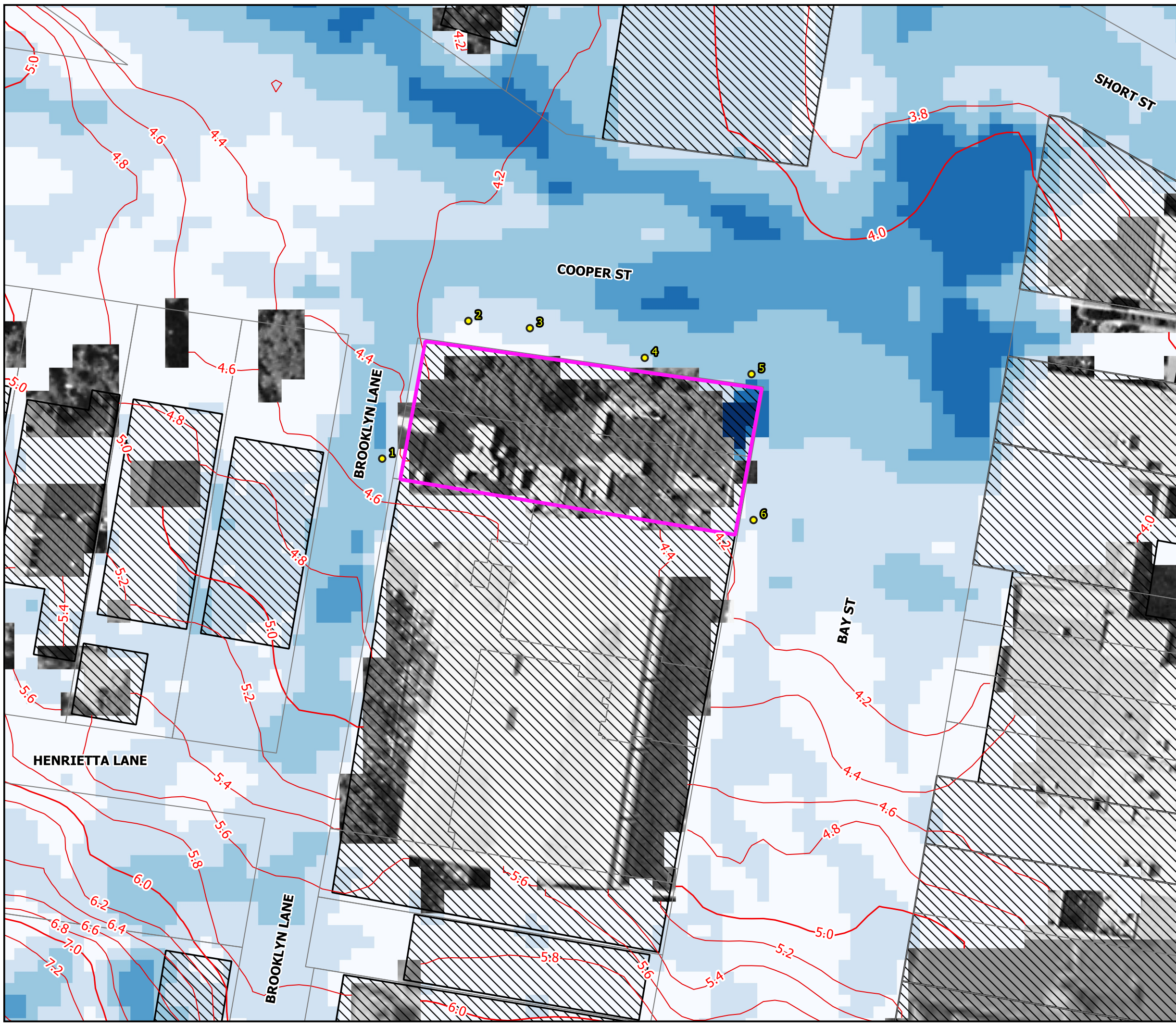
VxD (m²/s)

- <0.4
- 0.4 - 0.6
- 0.6 - 0.8
- 0.8 - 1.2
- > 1.2



Notes:
Aerial photograph: Nearmap 2020

Figure 4
Developed Flood Depth
1% AEP



LEGEND

- Site Location
- Building Footprint
- Cadastral Boundary
- Reporting Location
- 0.2m Flood Level Contour

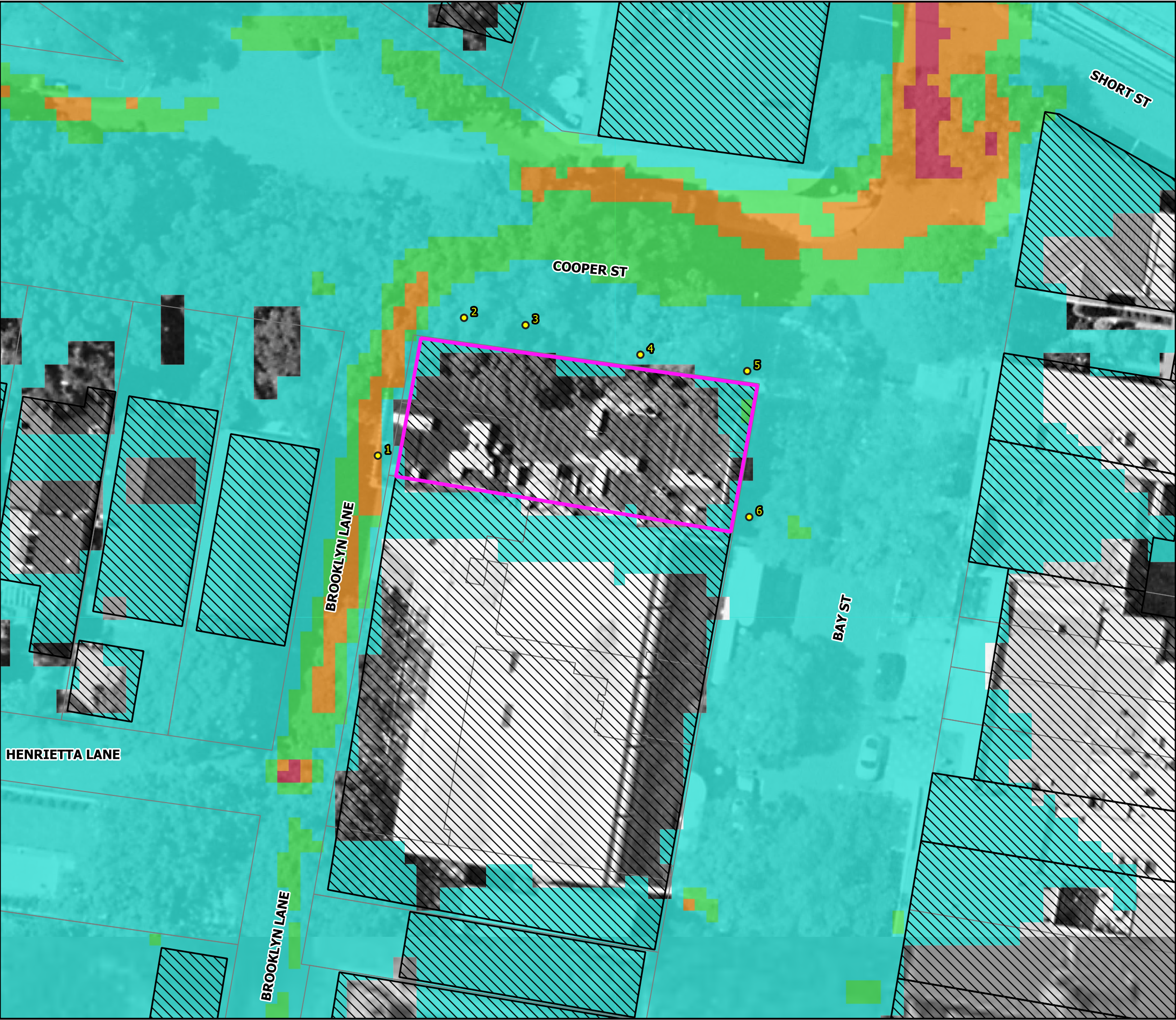
Flood Depth (m)

- <= 0.1
- 0.1 - 0.25
- 0.25 - 0.4
- 0.4 - 0.5
- 0.5 - 1
- > 1



Notes:
Aerial photograph: Nearmap 2020

Figure 5
Developed VxD
1% AEP



LEGEND

- Site Location
- Building Footprint
- Cadastral Boundary
- Reporting Location

VxD (m²/s)
















- <0.4
- 0.4 - 0.6
- 0.6 - 0.8
- 0.8 - 1.2
- > 1.2

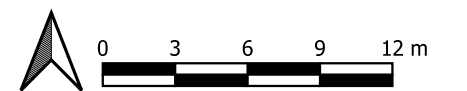


Notes:
Aerial photograph: Nearmap 2020

Figure 6
Flood Level Difference
1% AEP

LEGEND

-  Site Location
-  Building Footprint
-  Cadastral Boundary
-  Reporting Location
- Flood Level Difference (m)
 -  -0.1
 -  -0.08
 -  -0.05
 -  -0.01
 -  -0.01 - 0.01
 -  0.01
 -  0.05
 -  0.08
 -  0.1
 -  Previously wet now dry
 -  Previously dry now wet



Notes:
Aerial photograph: Nearmap 2020

Figure 7
VxD Difference
1% AEP

LEGEND

- Site Location
 - Building Footprint
 - Cadastral Boundary
 - Reporting Location
- VxD Difference (m²/s)
- 0.3
 - 0.2
 - 0.1
 - 0.05
 - 0.05 - 0.05
 - 0.05
 - 0.1
 - 0.2
 - 0.3
 - Previously wet now dry
 - Previously dry now wet





APPENDIX B

EXISTING SITE SURVEY



24 BAY STREET
DOUBLE BAY

Drawing List					
Sheet Number	Sheet Name	Drawn By	Sheet Issue Date	Current Revision	Revision Description
2	Detail and Level Survey	NC/MT	12/10/2020	A	First Issue
3	Elevation Plan - Sheet 1	NC/MT	12/10/2020	A	First Issue
4	Elevation Plan - Sheet 2	NC/MT	12/10/2020	A	First Issue
5	Elevation Plan - Sheet 3	NC/MT	12/10/2020	A	First Issue
6	Elevation Plan - Sheet 4	NC/MT	12/10/2020	A	First Issue
7	Floor Plan - Lower Ground (Night Club)	NC/MT	12/10/2020	A	First Issue
8	Floor Plan - Ground Floor	NC/MT	12/10/2020	A	First Issue
9	Floor Plan - Level 1	NC/MT	12/10/2020	A	First Issue
10	Floor Plan - Level 2	NC/MT	12/10/2020	A	First Issue
11	Floor Plan - Roof	NC/MT	12/10/2020	A	First Issue

GENERAL NOTES:-

- THIS SURVEY IS NOT A 'LAND SURVEY' AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
- ONLY TREES GREATER THAN 3.5 METRES IN HEIGHT ARE SHOWN ON THIS PLAN AND THEIR POSITIONS ARE DIAGRAMMATIC ONLY AND MAY REQUIRE ADDITIONAL SURVEY WHERE CRITICAL TO DESIGN.
- CONTOURS ARE INDICATIVE AT GROUND FORM ONLY. SPOT LEVELS ONLY SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- LEVELS ARE ON AUSTRALIAN HEIGHT DATUM (A.H.D.)
- THE CONTOUR INTERVAL IS 0.5m
- ALL SETOUT LEVELS MUST BE REFERRED TO THE BENCH MARK SHOWN ON THIS PLAN.

BOUNDARY NOTES:-

- THE BOUNDARIES OF THE LAND HAVE BEEN SURVEYED. UNLESS SHOWN BY OFFSETS, THE POSITION OF THE FEATURES SHOWN IS DIAGRAMMATIC ONLY.
- BOUNDARIES HAVE NOT BEEN MARKED.

SURVEY INFORMATION NOTES:-

- THE ORIGIN OF COORDINATES COMES FROM PM269 E 337171.14 N 6250090.665 CLASS C POSITIONAL UNCERTAINTY (PU) N/A (MGA2020) ADOPTED FROM SCIMS DATED 07/10/2020.
- THE ORIGIN OF LEVELS COMES FROM PM269 RL 8.579 CLASS LB POSITIONAL UNCERTAINTY (PU) N/A ADOPTED FROM SCIMS DATED 07/10/2020.
- THE ORIENTATION OF THIS PLAN IS MGA NORTH AS DETERMINED FROM DP1205085. THE VARIATION FROM MGA NORTH TO TRUE NORTH IS APPROXIMATELY 1°05'

SERVICES NOTES:-

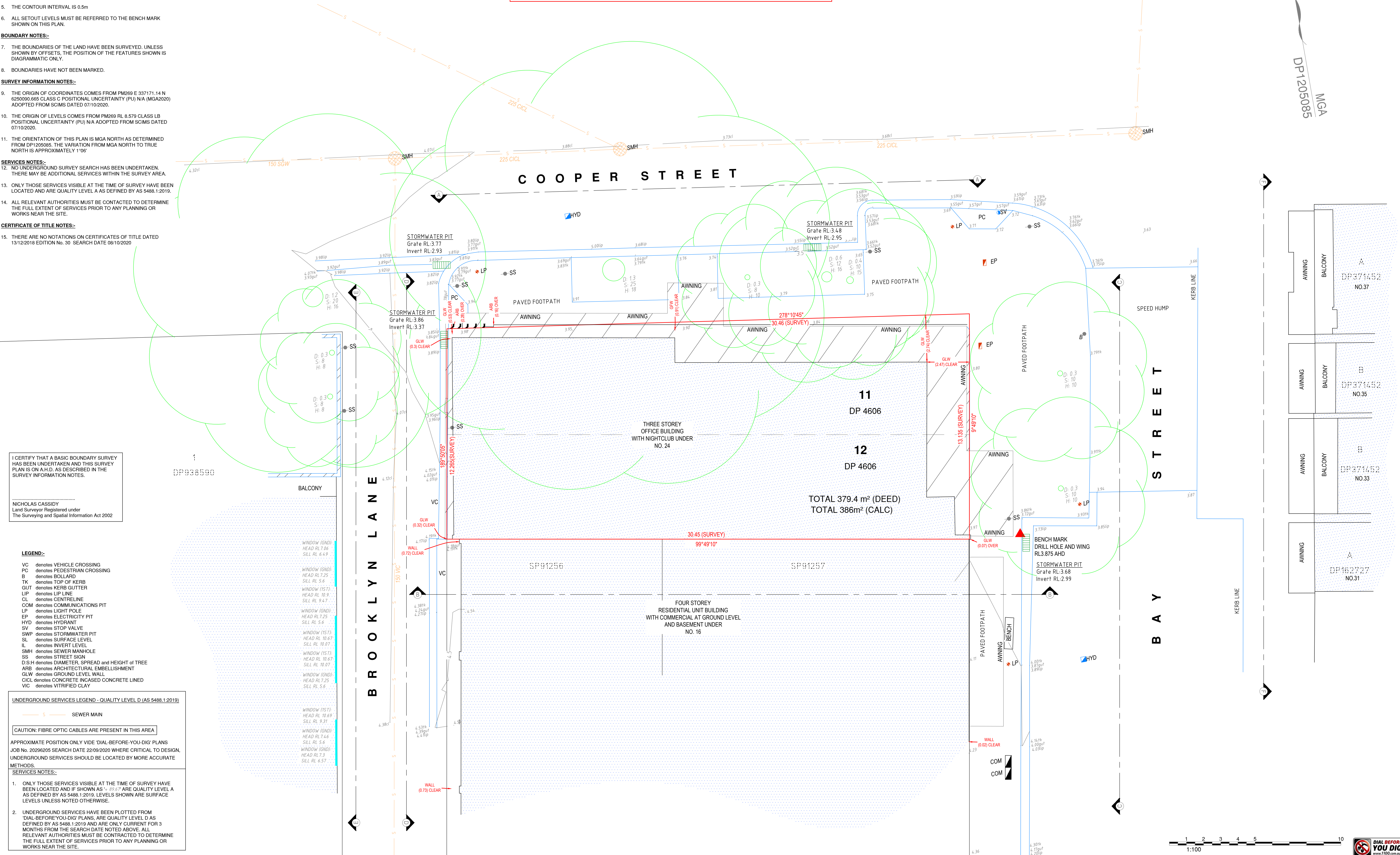
- NO UNDERGROUND SURVEY SEARCH HAS BEEN UNDERTAKEN. THERE MAY BE ADDITIONAL SERVICES WITHIN THE SURVEY AREA.
- ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED AND ARE QUALITY LEVEL A AS DEFINED BY AS 5488.1:2019.
- ALL RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE THE FULL EXTENT OF SERVICES PRIOR TO ANY PLANNING OR WORKS NEAR THE SITE.

CERTIFICATE OF TITLE NOTES:-

- THERE ARE NO NOTATIONS ON CERTIFICATES OF TITLE DATED 13/12/2018 EDITION No. 30 SEARCH DATE 08/10/2020

WARNING

- THIS SURVEY HAS ADOPTED MGA 2020 COORDINATES WHICH ARE BASED ON THE NEW GDA2020 DATUM.
- THESE MGA2020 EASTING AND NORTHING COORDINATES ARE APPROXIMATELY 1.8 METRES DIFFERENT TO THE MGA94 COORDINATES BASED ON THE GDA94 DATUM.
- GDA2020 IS A STATIC DATUM - JUST LIKE GDA94 - THE COORDINATES OF FEATURES DO NOT CHANGE WITH TIME.
- FROM 2022 MGA94 COORDINATES WILL NO LONGER BE AVAILABLE.
- HEIGHTS SHOWN ON THIS PLAN ARE STILL RELATED TO THE AUSTRALIAN HEIGHT DATUM (AHD71).



I CERTIFY THAT A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN AND THIS SURVEY PLAN IS ON A.H.D. AS DESCRIBED IN THE SURVEY INFORMATION NOTES.

NICHOLAS CASSIDY
Land Surveyor Registered under
The Surveying and Spatial Information Act 2002

LEGEND:-

- VC denotes VEHICLE CROSSING
- PC denotes PEDESTRIAN CROSSING
- B denotes BOLLARD
- TK denotes TOP OF KERB
- GUT denotes KERB GUTTER
- LIP denotes LIP LINE
- CL denotes CENTRELINE
- COM denotes COMMUNICATIONS PIT
- LP denotes LIGHT POLE
- EP denotes ELECTRICITY PIT
- HYD denotes HYDRANT
- SV denotes STOP VALVE
- SWP denotes STORMWATER PIT
- SL denotes SURFACE LEVEL
- IL denotes INVERT LEVEL
- SMH denotes SEWER MANHOLE
- SS denotes STREET SIGN
- D:SH denotes DIAMETER, SPREAD AND HEIGHT OF TREE
- ARB denotes ARCHITECTURAL EMBELLISHMENT
- GLW denotes GROUND LEVEL WALL
- CICL denotes CONCRETE INCASED CONCRETE LINED
- VIC denotes VITRIFIED CLAY

UNDERGROUND SERVICES LEGEND - QUALITY LEVEL D (AS 5488.1:2019)

SEWER MAIN

CAUTION: FIBRE OPTIC CABLES ARE PRESENT IN THIS AREA

APPROXIMATE POSITION ONLY VIDE 'DIAL-BEFORE-YOU-DIG' PLANS
JOB No. 20296205 SEARCH DATE 22/09/2020 WHERE CRITICAL TO DESIGN,
UNDERGROUND SERVICES SHOULD BE LOCATED BY MORE ACCURATE
METHODS.

SERVICES NOTES:-

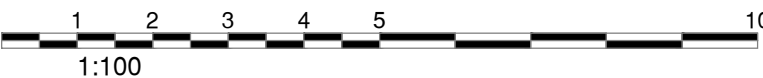
- ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED AND IF SHOWN AS '+ 0.6"' ARE QUALITY LEVEL A AS DEFINED BY AS 5488.1:2019. LEVELS SHOWN ARE SURFACE LEVELS UNLESS NOTED OTHERWISE.
- UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM 'DIAL-BEFORE-YOU-DIG' PLANS, ARE QUALITY LEVEL D AS DEFINED BY AS 5488.1:2019 AND ARE ONLY CURRENT FOR 3 MONTHS FROM THE SEARCH DATE NOTED ABOVE. ALL RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE THE FULL EXTENT OF SERVICES PRIOR TO ANY PLANNING OR WORKS NEAR THE SITE.

ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

CLIENT:
FORTIS DEVELOPMENT GROUP

ORIGIN OF LEVELS: PM269 RL 8.579 DATUM: A.H.D.	SCALE: 1:100 ORIGIN OF COORDINATES: PM269 DATUM: MGA2020	REF: 8283 DATE: 12/10/2020 SURV/CHK: NC/MT SHEET 2 OF 11 SHEETS	PLAN A1 ISSUE A
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DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606
24 BAY STREET
DOUBLE BAY

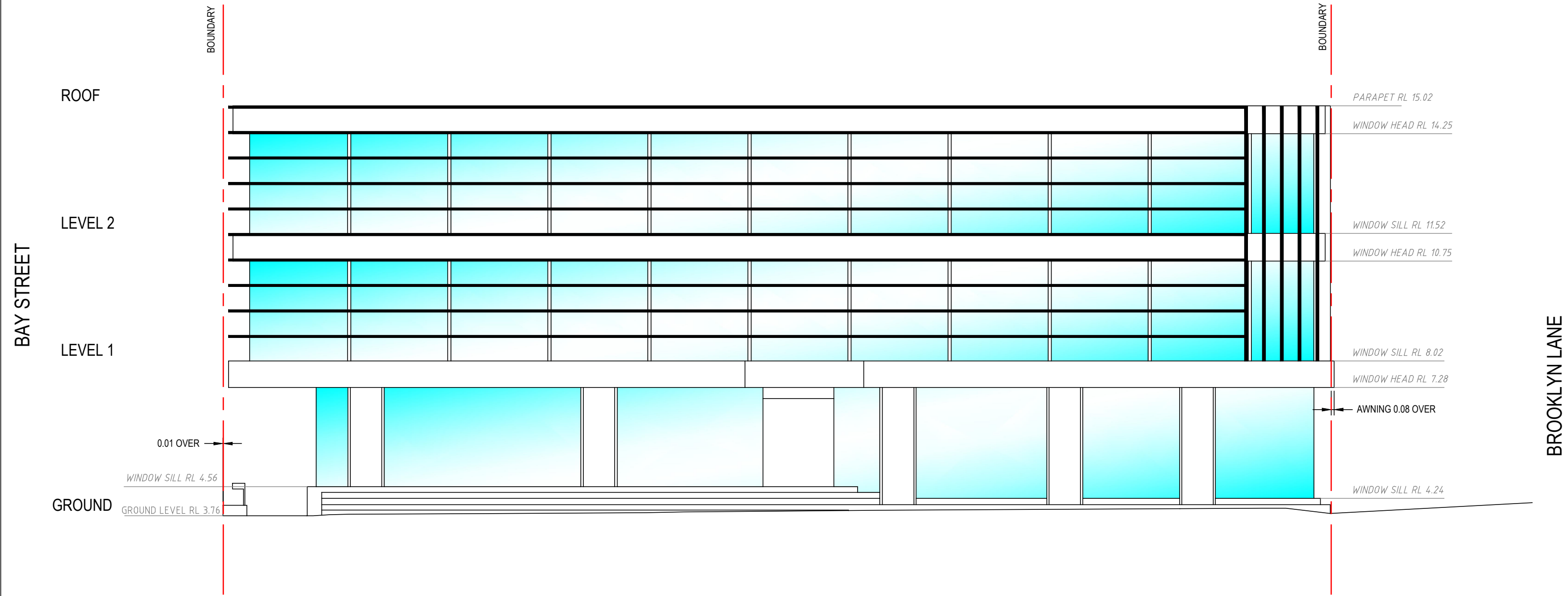


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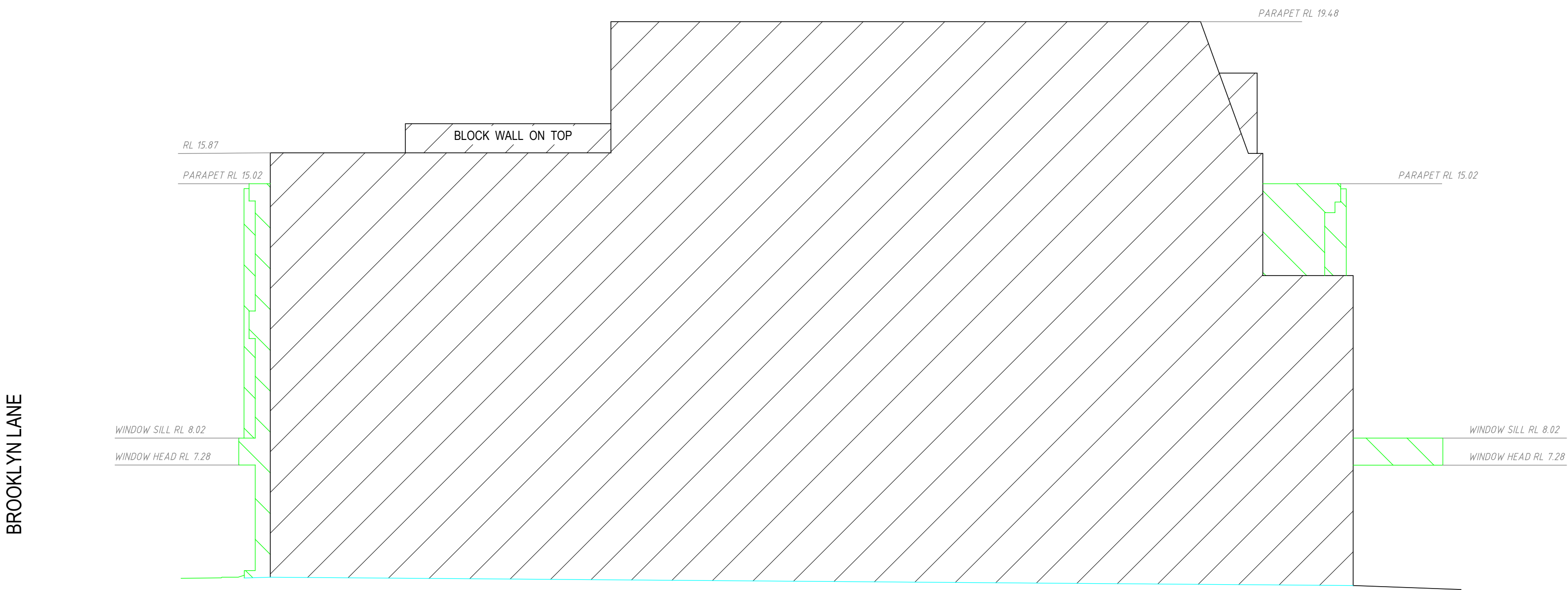
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NORTH PARRAMATTA 1750
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COOPER STREET ELEVATION (A) - (A)
(NORTH ELEVATION)



CROSS SECTION THROUGH 16-18 BAY STREET (B) - (B)
(SOUTH ELEVATION)

- denotes NO.24 BUILDING
- denotes NO.16-18 BUILDING

ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

CLIENT: FORTIS DEVELOPMENT GROUP

ORIGIN OF LEVELS:
PM269
RL 8.579
DATUM: A.H.D.

SCALE: 1:100

ORIGIN OF COORDINATES:
PM269
DATUM: MGA2020

REF: 8283

DATE: 12/10/2020

SURV/CHK: NC/MT

SHEET 3 OF 11 SHEETS

PLAN A1

24 BAY STREET

DOUBLE BAY

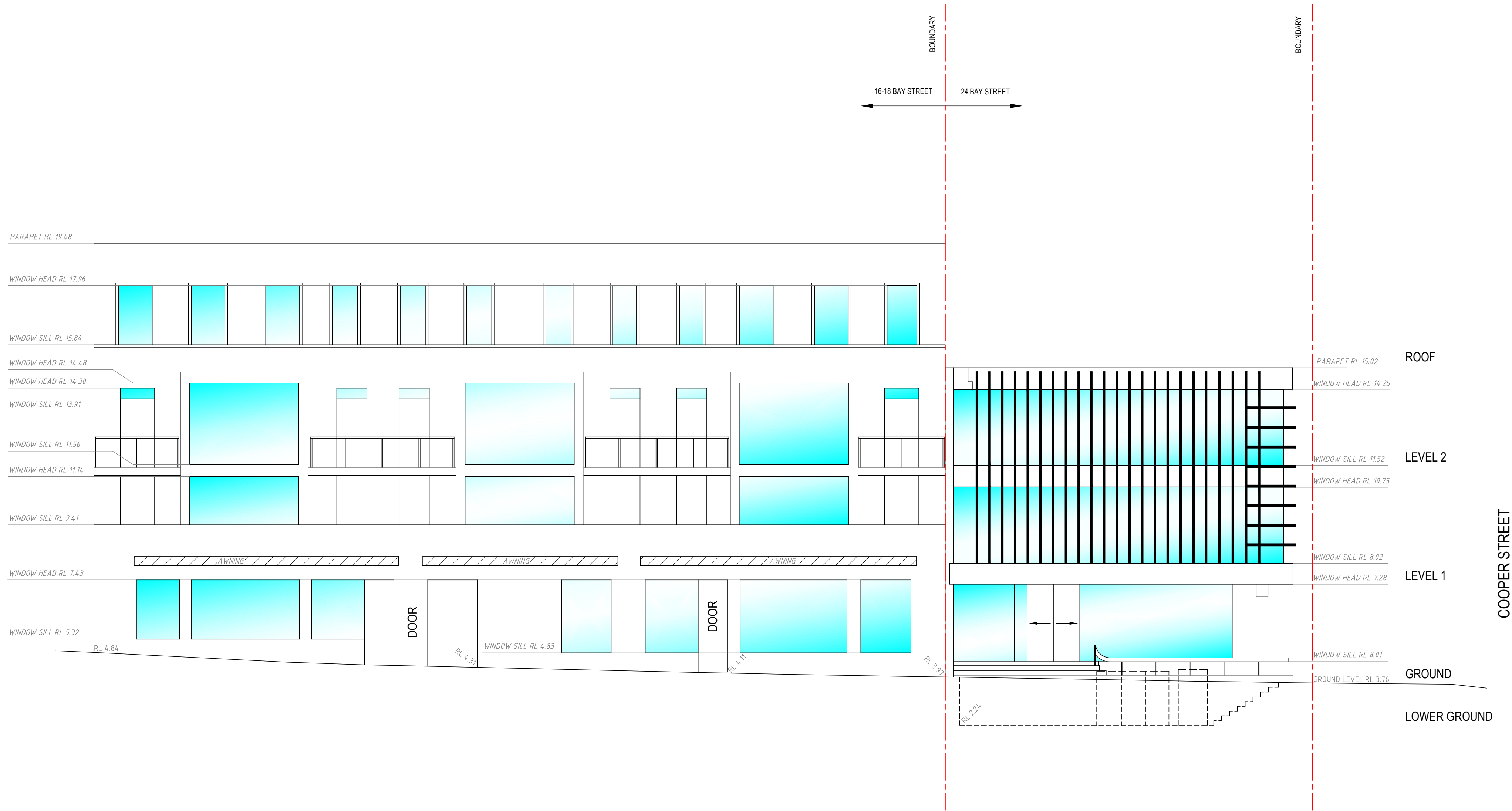


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DIAL BEFORE YOU DIG
100mm



BAY STREET ELEVATION C - C
(EAST ELEVATION)

ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

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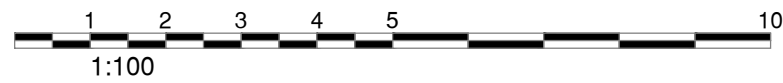
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PM269
RL 8.579
DATUM: **A.H.D.**

SCALE: **1:100**
ORIGIN OF COORDINATES:
PM269
DATUM: **MGA2020**

REF: **8283**
DATE: **12/10/2020**
SURV/CHK: **NC/MT**
SHEET **4** OF **11** SHEETS

PLAN
A1
ISSUE
A

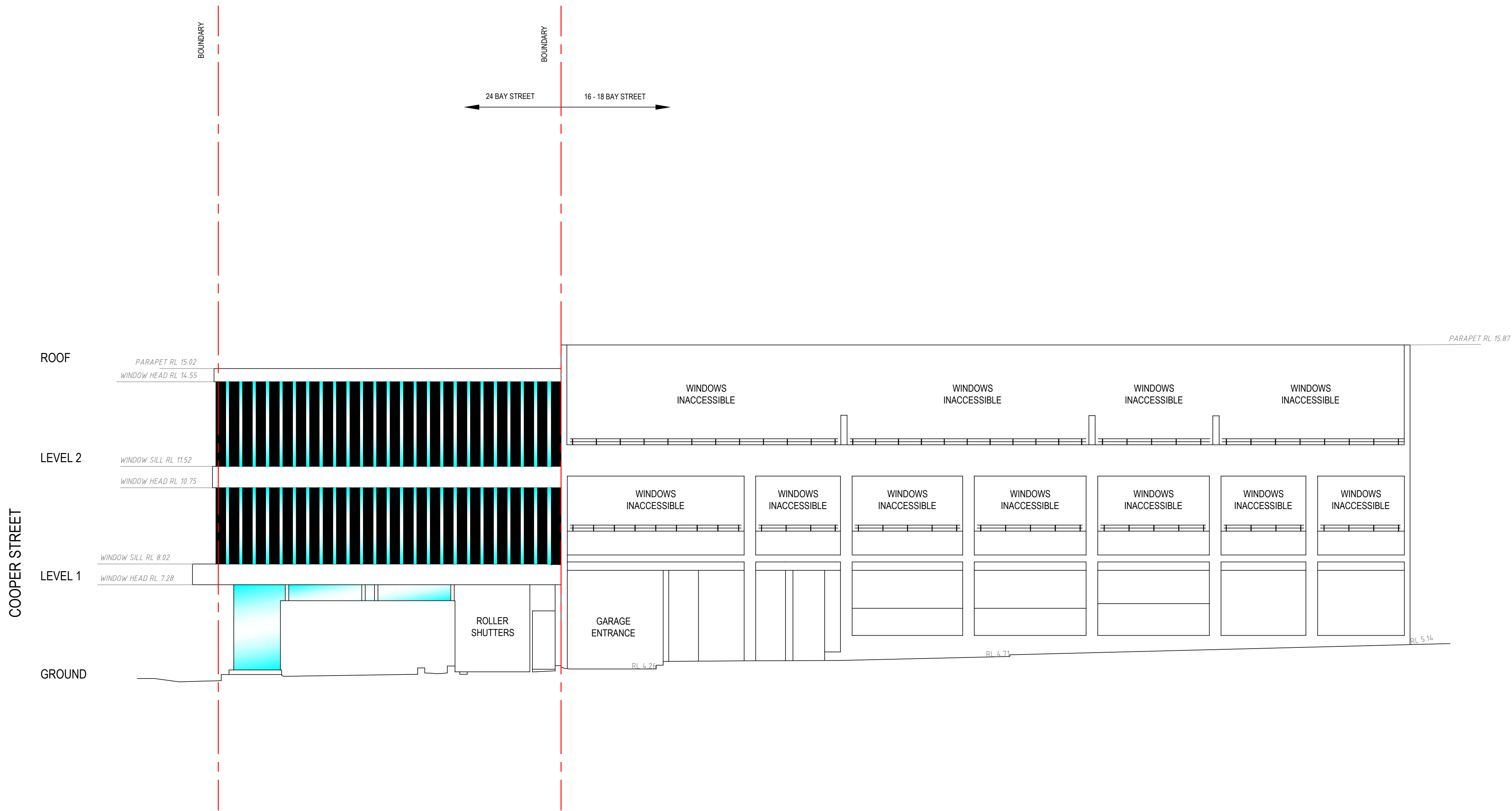
DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606
24 BAY STREET
DOUBLE BAY



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BROOKLYN LANE ELEVATION (D - D)
(WEST ELEVATION)



ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

CLIENT:
FORTIS DEVELOPMENT GROUP

ORIGIN OF LEVELS:
PM269
RL 8.579
DATUM: **A.H.D.**

SCALE: **1:100**
ORIGIN OF COORDINATES:
PM269
DATUM: **MGA2020**

REF: **8283**
DATE: **12/10/2020**
SURV/CHK: **NC/MT**
SHEET **5** OF **11** SHEETS

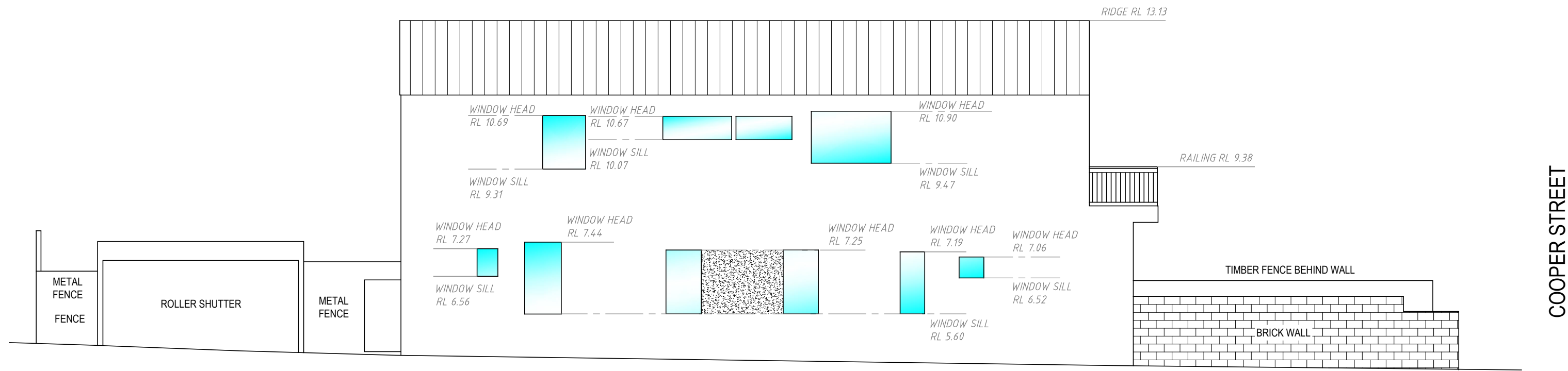
PLAN
A1
ISSUE
A

DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606
24 BAY STREET
DOUBLE BAY

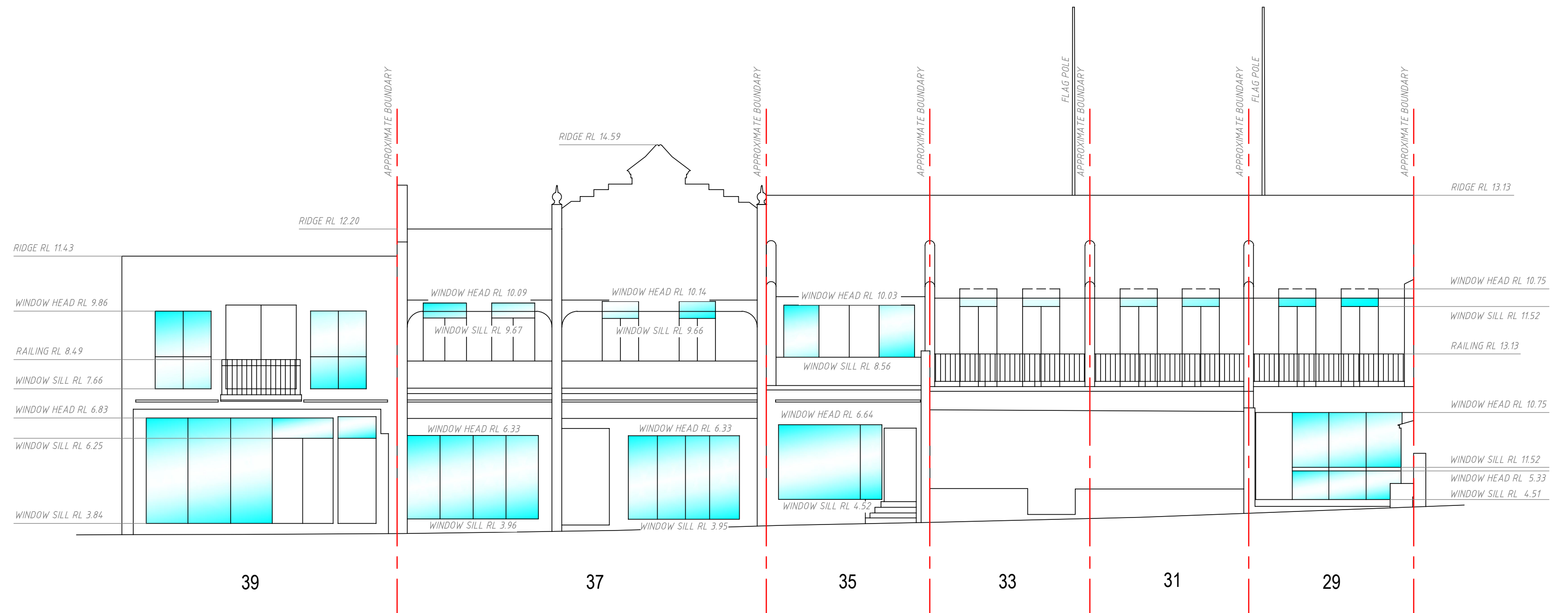
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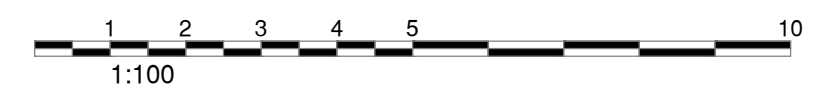
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2 COOPER STREET (E) - (E)
(BROOKLYN LANE ELEVATION)



BAY STREET ELEVATION (F) - (F)



ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

CLIENT:
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ORIGIN OF LEVELS:
PM269
RL 8.579
DATUM: **A.H.D.**

SCALE: **1:100**
ORIGIN OF COORDINATES:
PM269
DATUM: **MGA2020**

REF: **8283**
DATE: **12/10/2020**
SURV/CHK: **NC/MT**
SHEET **6** OF **11** SHEETS

PLAN
A1
ISSUE
A

DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606
24 BAY STREET
DOUBLE BAY

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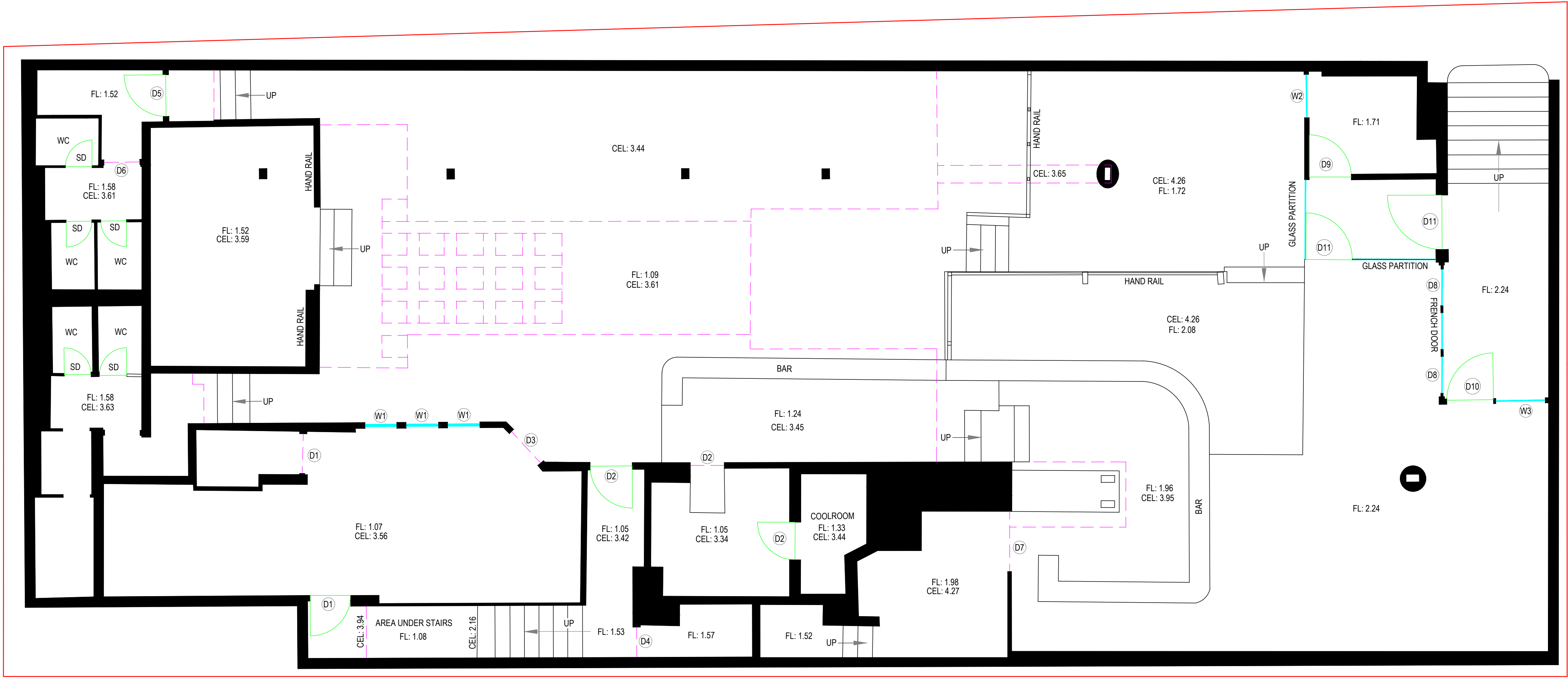
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COOPER STREET

BROOKLYN LANE

BAY STREET



FLOOR PLAN - LOWER GROUND (NIGHT CLUB)
SCALE 1:50

LEGEND:-

- CEL denotes CEILING
- FL denotes FLOOR LEVEL
- WC denotes WATER CLOSET
- SD denotes STALL DOOR
- denotes BOUNDARY
- denotes REFLECTED CEILING
- denotes GLASS
- denotes DOORS

DOORS	
TAG	HEAD RL
D1	3.05
D2	3.15
D3	3.39
D4	3.50
D5	3.54
D6	3.59
D7	4.01
D8	4.07
D9	4.08
D10	4.19
D11	FLOOR TO CEILING DOOR

WINDOWS		
TAG	SILL RL	HEAD RL
W1	2.23	3.14
W2	3.00	3.77
W3	3.80	4.19

ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

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ORIGIN OF LEVELS: PM269
RL 8.579
DATUM: A.H.D.

SCALE: 1:50
ORIGIN OF COORDINATES: PM269
DATUM: MGA2020

REF: 8283
DATE: 12/10/2020
SURV/CHK: NC/MT
SHEET 7 OF 11 SHEETS

PLAN A1
ISSUE A

DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606
24 BAY STREET
DOUBLE BAY

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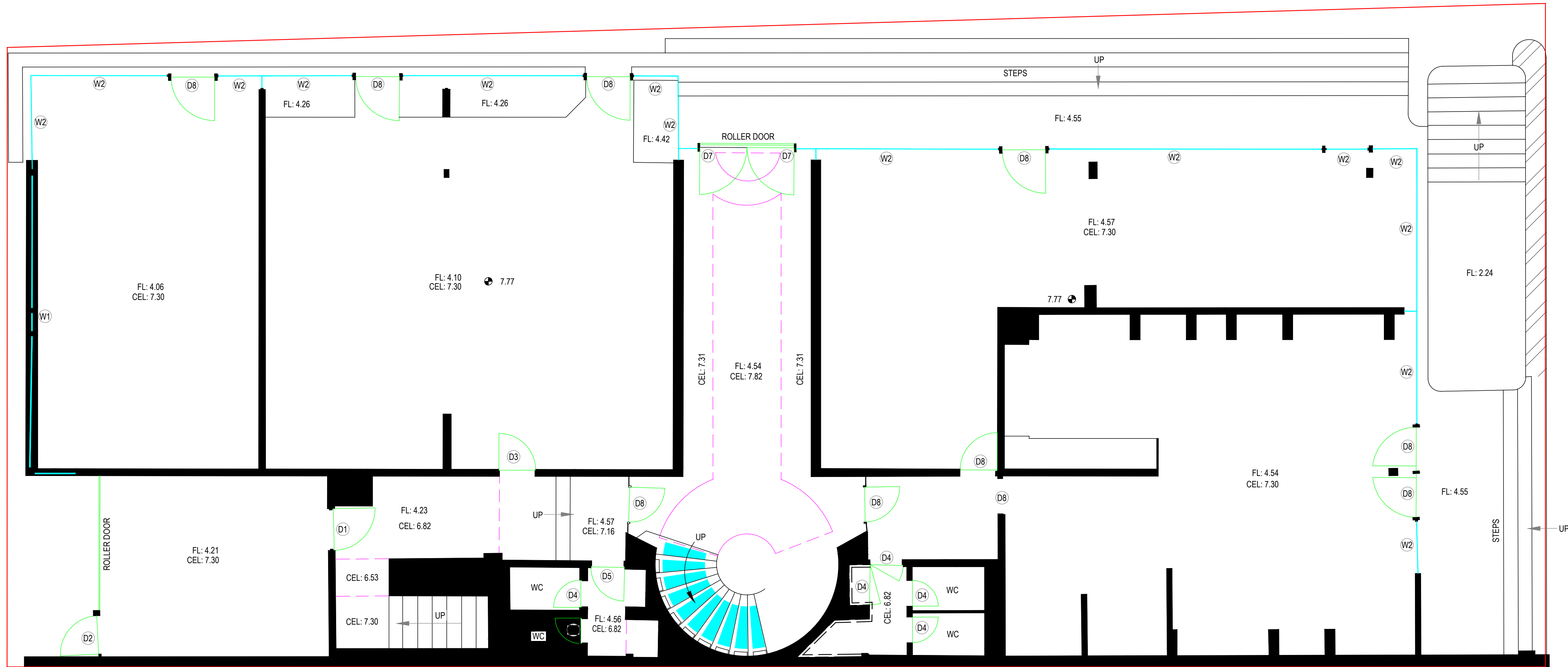
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C O O P E R S T R E E T

MGA
DP1205085

B R O O K L Y N L A N E

B A Y S T R E E T



DOORS	
TAG	HEAD RL
D1	6.26
D2	6.34
D3	6.42
D4	6.79
D5	6.82
D6	7.24
D7	7.29
D8	FLOOR TO CEILING DOOR

WINDOWS	
TAG	STILL RL, HEAD RL
W1	6.70, 7.29
W2	FLOOR TO CEILING WINDOW

LEGEND:-

- CEL denotes CEILING
FL denotes FLOOR LEVEL
— denotes BOUNDARY
--- denotes REFLECTED CEILING
--- denotes GLASS
--- denotes OBSTRUCTED WALL APPROXIMATE POSITION
⊙ denotes UNDERSIDE OF STRUCTURAL FLOOR ABOVE

FLOOR PLAN - GROUND FLOOR
SCALE 1:50

ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

CLIENT:
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ORIGIN OF LEVELS:
PM269
RL 8.579
DATUM: **A.H.D.**

SCALE: **1:50**
ORIGIN OF COORDINATES:
PM269
DATUM: **MGA2020**

REF: **8283**
DATE: **12/10/2020**
SURV/CHK: **NC/MT**
SHEET **8** OF **11** SHEETS

PLAN
A1
ISSUE
A

DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606
24 BAY STREET
DOUBLE BAY

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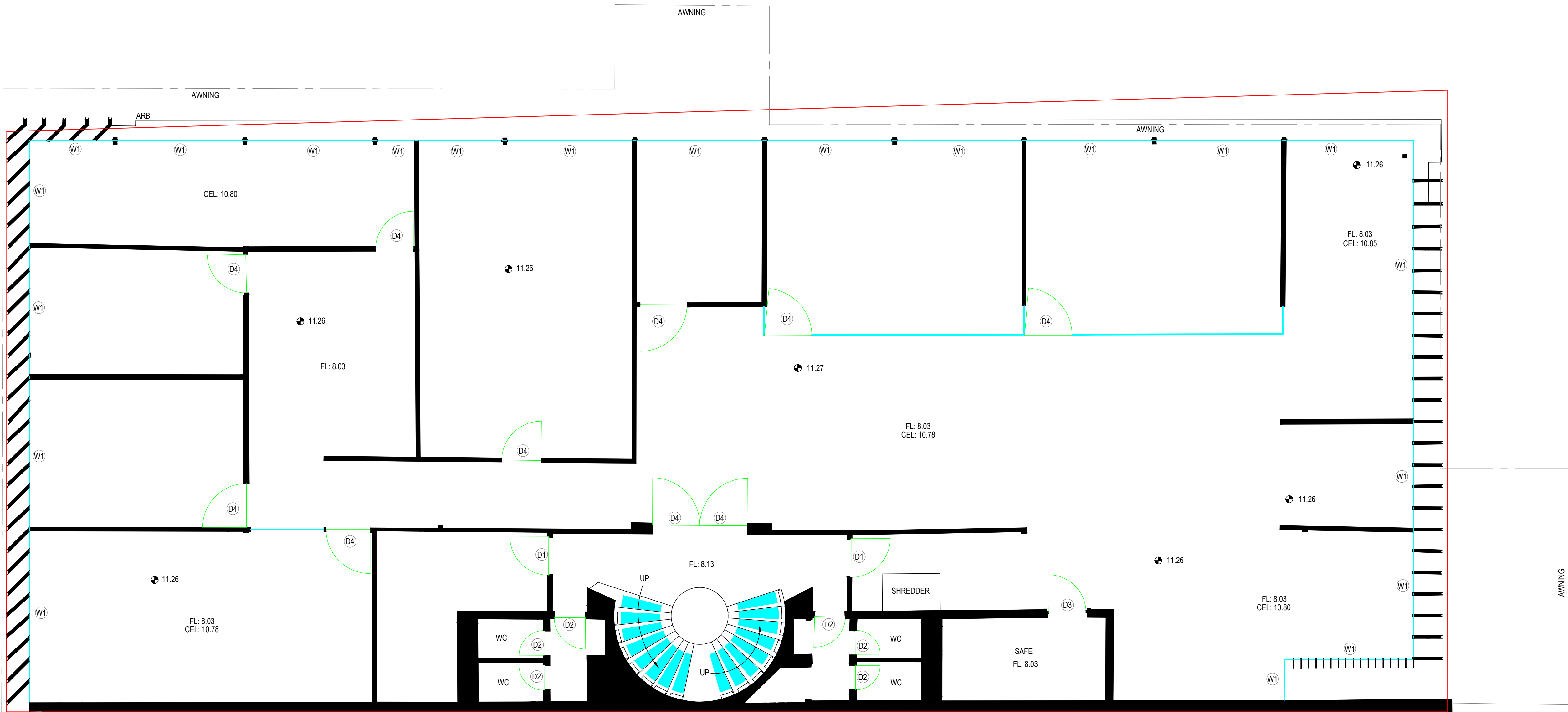
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C O O P E R S T R E E T

B R O O K L Y N L A N E

B A Y S T R E E T



DOORS	
TAG	HEAD RL
D1	10.06
D2	10.28
D3	9.94
D4	FLOOR TO CEILING DOOR

WINDOWS	
TAG	SILL RL, HEAD RL
W1	FLOOR TO CEILING WINDOW

LEGEND:-

- CEL denotes CEILING
FL denotes FLOOR LEVEL
ARB denotes ARCHITECTURAL EMBELLISHMENT
denotes BOUNDARY
denotes GLASS
denotes UNDERSIDE OF STRUCTURAL FLOOR ABOVE

FLOOR PLAN - LEVEL 1
SCALE 1:50

ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

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ORIGIN OF LEVELS:
PM269
RL 8.579
DATUM: A.H.D.

SCALE: 1:50
ORIGIN OF COORDINATES:
PM269
DATUM: MGA2020

REF: 8283
DATE: 12/10/2020
SURV/CHK: NC/MT
SHEET 9 OF 11 SHEETS

PLAN A1
ISSUE A

DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606
24 BAY STREET
DOUBLE BAY

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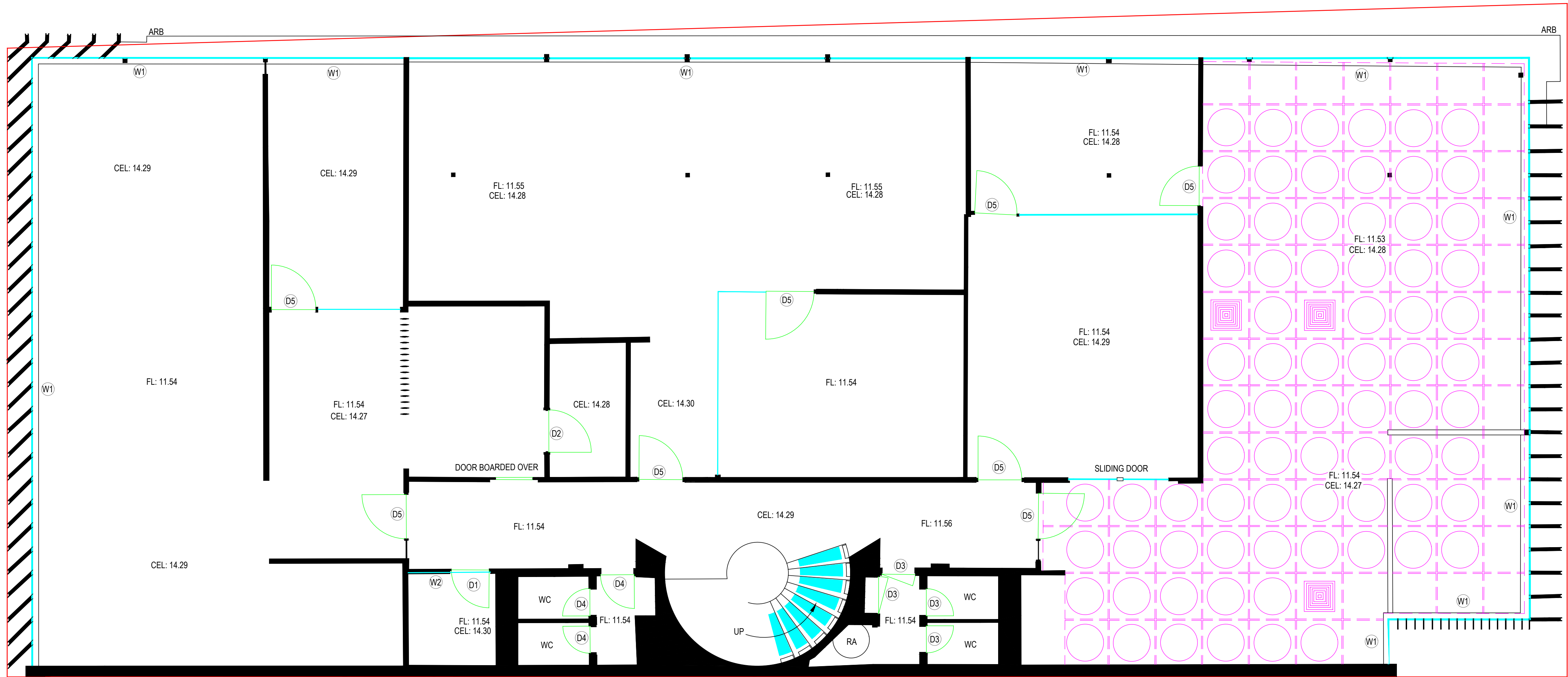
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COOPER STREET

BROOKLYN LANE

BAY STREET



DOORS	
TAG	HEAD RL
D1	13.55
D2	13.58
D3	13.77
D4	13.78
D5	FLOOR TO CEILING DOOR

WINDOWS		
TAG	SILL RL	HEAD RL
W1	FLOOR TO CEILING WINDOW	
W2	13.62, 14.23	

LEGEND:-

CEL denotes CEILING
FL denotes FLOOR LEVEL
ARB denotes ARCHITECTURAL EMBELLISHMENT
RA denotes ROOF ACCESS
— denotes BOUNDARY
— denotes REFLECTED CEILING
— denotes GLASS

NOTE:
ROOF BEAMS ONLY PARTIALLY ACCESSIBLE. FALSE CEILING
NEEDS TO BE REMOVED TO ATTAIN ACCURATE POSITION

FLOOR PLAN - LEVEL 2
SCALE 1:50

ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

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ORIGIN OF LEVELS:
PM269
RL 8.579
DATUM: **A.H.D.**

SCALE: **1:50**
ORIGIN OF COORDINATES:
PM269
DATUM: **MGA2020**

REF: **8283**
DATE: **12/10/2020**
SURV/CHK: **NC/MT**
SHEET **10** OF **11** SHEETS

PLAN
A1
ISSUE
A
DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606
24 BAY STREET
DOUBLE BAY

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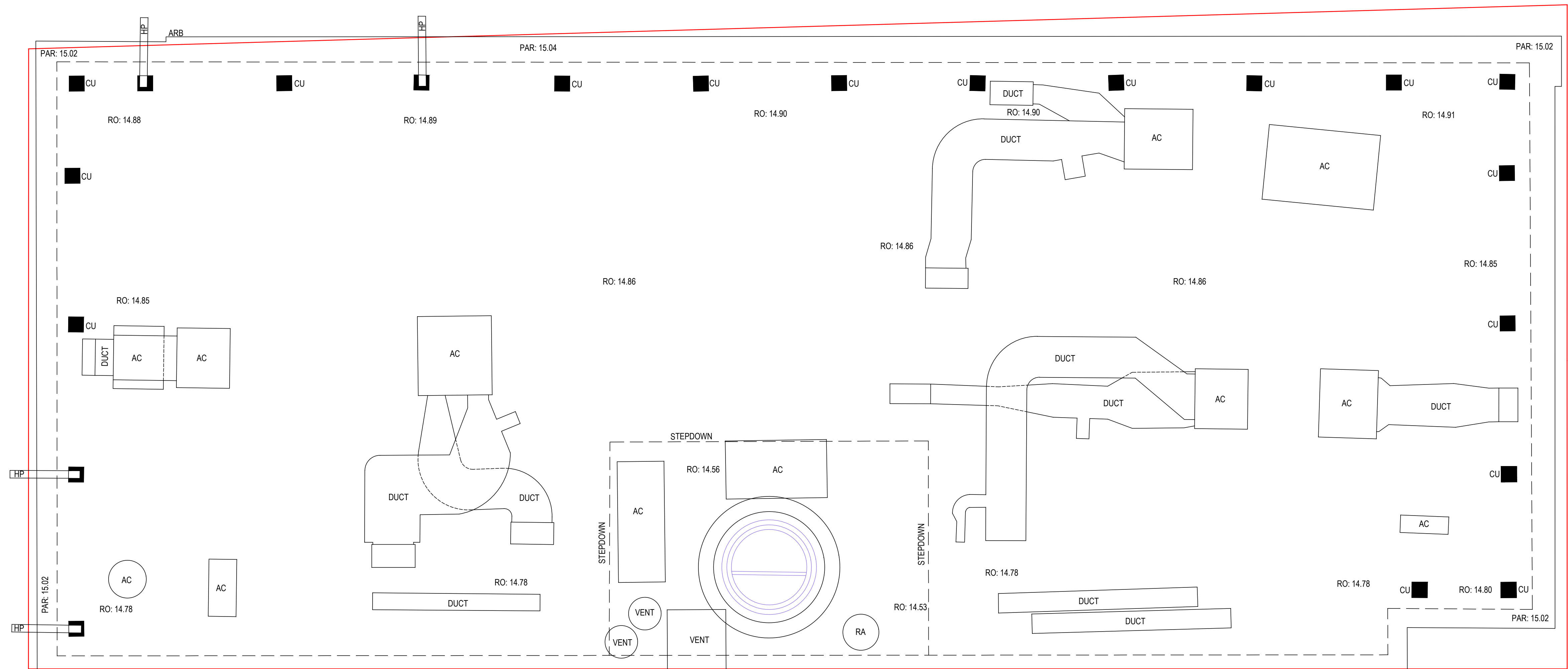
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BROOKLYN LANE

BAY STREET

COOPER STREET



LEGEND:-

- PAR denotes PARAPET LEVEL
- RO denotes ROOF LEVEL
- CU denotes CONCRETE UPTURN
- HP denotes HOISTING POINT
- RA denotes ROOF ACCESS
- denotes BOUNDARY
- denotes SKYLIGHT

FLOOR PLAN - ROOF
SCALE 1:50

ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/10/2020	ORIGINAL ISSUE	NC/MT				

CLIENT:
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ORIGIN OF LEVELS: PM269 RL 8.579 DATUM: A.H.D.	SCALE: 1:50 ORIGIN OF COORDINATES: PM269 DATUM: MGA2020
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REF: 8283 DATE: 12/10/2020 SURV/CHK: NC/MT SHEET 11 OF 11 SHEETS

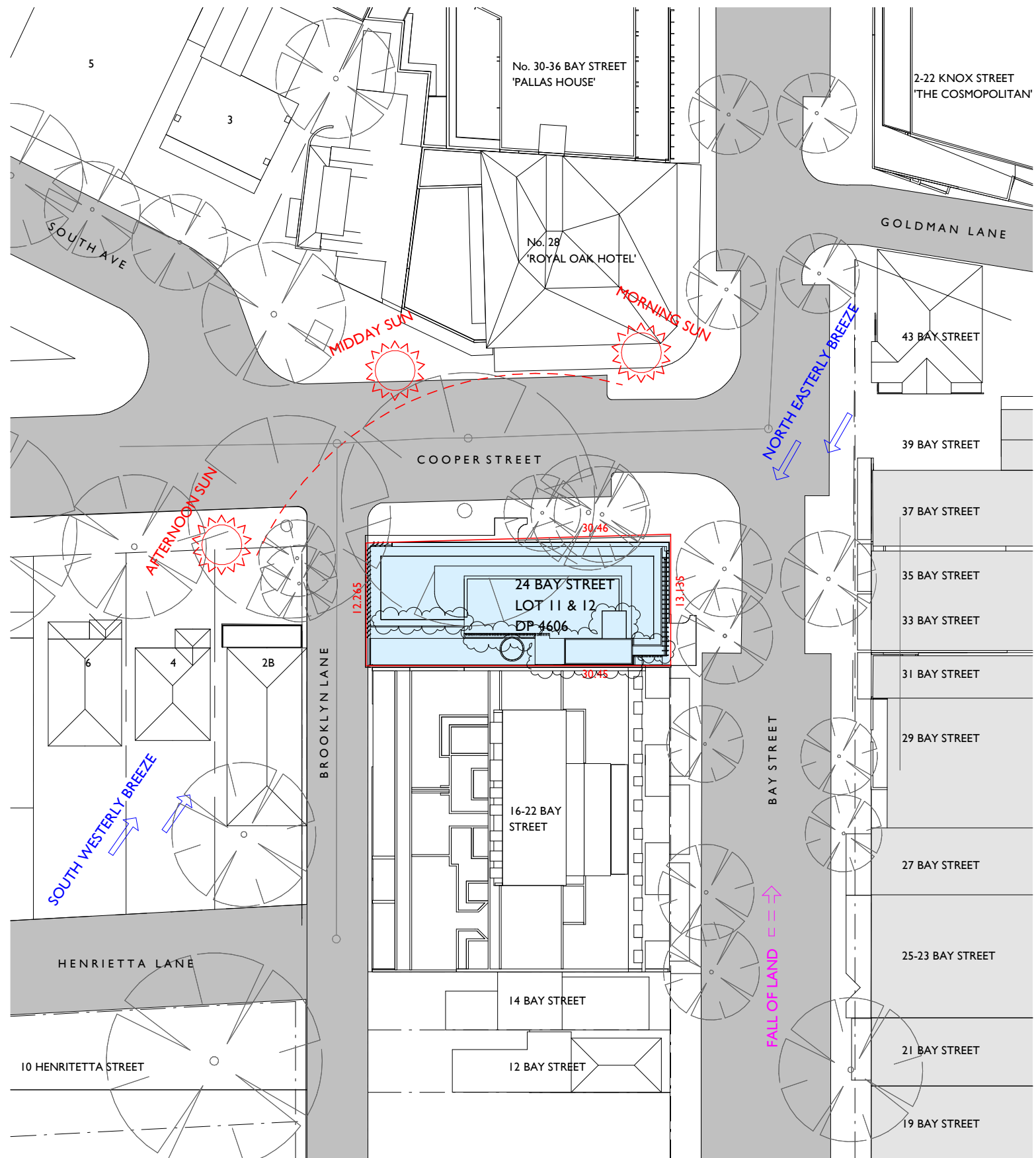
PLAN A1 ISSUE A	DETAIL AND LEVEL SURVEY OF LOTS 11 & 12 IN DP 4606 24 BAY STREET DOUBLE BAY
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APPENDIX C

DEVELOPMENT PLANS

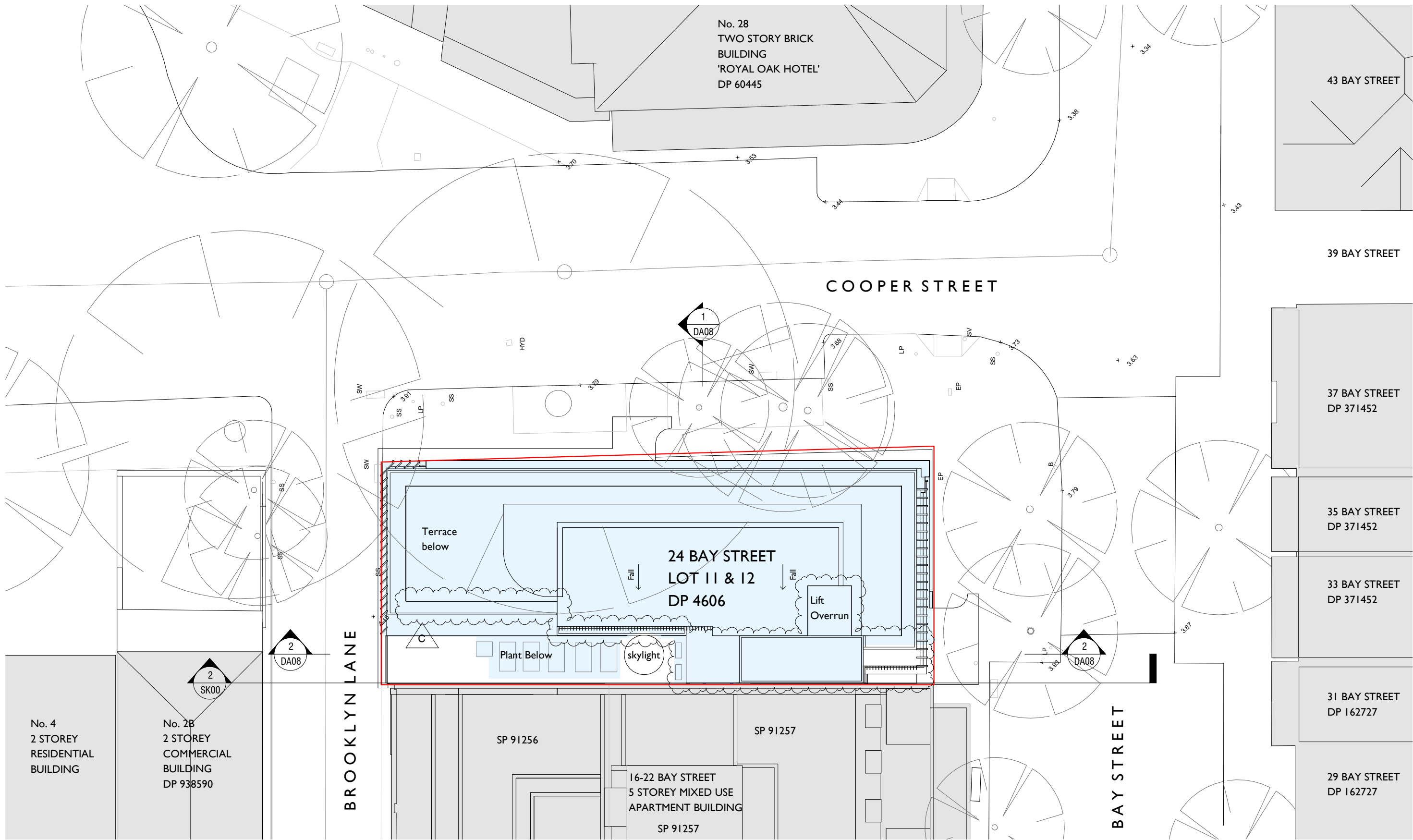


Revision B
- Revised lift location
- Planters added

I LOCATION + SITE ANALYSIS



notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY	Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	project	PROPOSED REFURBISHMENT	scale 1 : 500 on A3	job no J316	
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21			address	24 BAY STREET, DOUBLE BAY	dwg no	DA01	B
	B	POST S34 REVISIONS	28.09.21			drawing	SITE + CONTEXT			

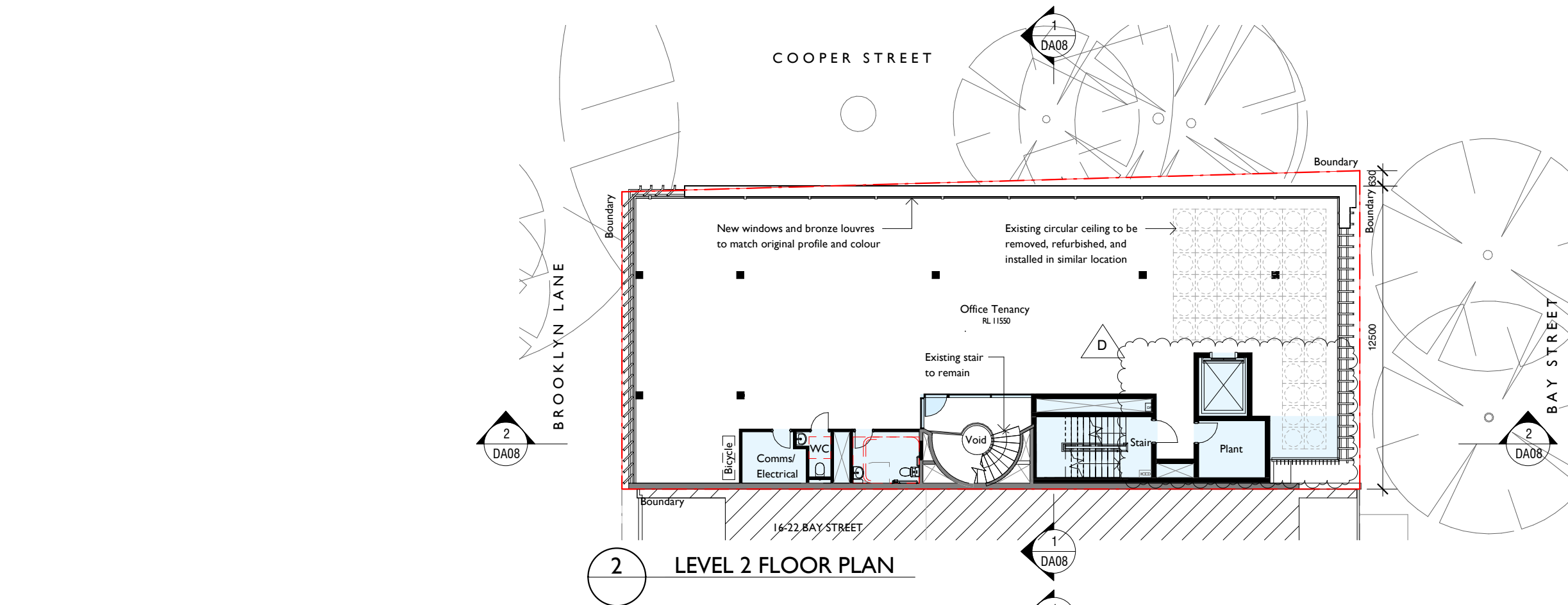


Revision C
- Revised lift location
- Planters added

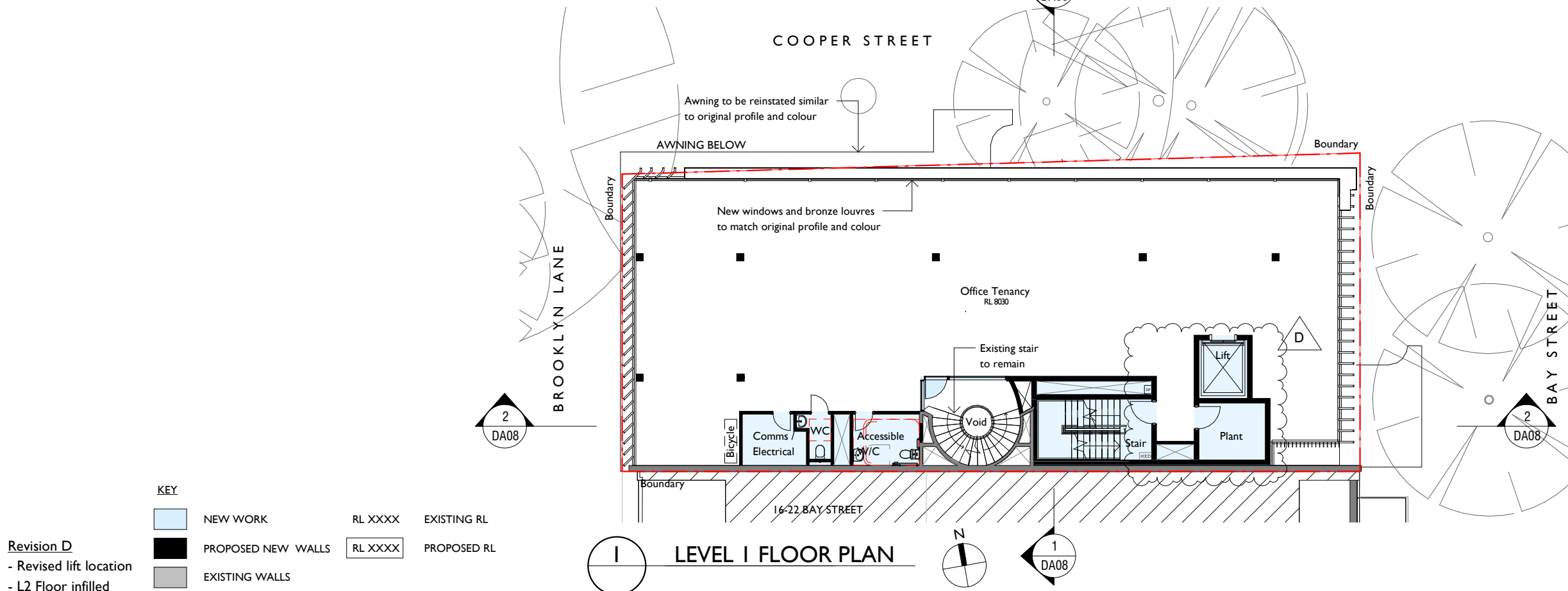
I SITE + ROOF PLAN



notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 t 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665		project	PROPOSED REFURBISHMENT	scale 1 : 200 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21					address	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	WITHOUT PREJUDICE	13.08.21					drawing	ROOF PLAN	DA02	C
	C	POST S34 REVISIONS	28.09.21								



2 LEVEL 2 FLOOR PLAN



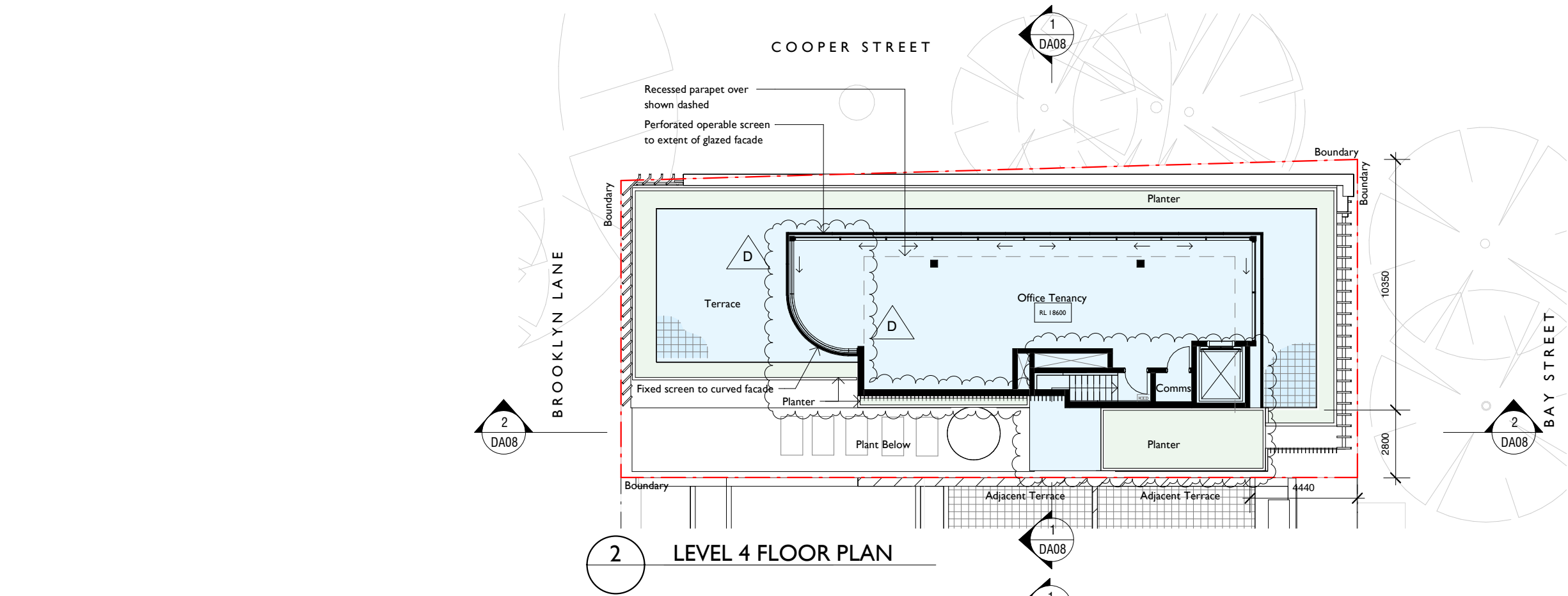
1 LEVEL 1 FLOOR PLAN

KEY

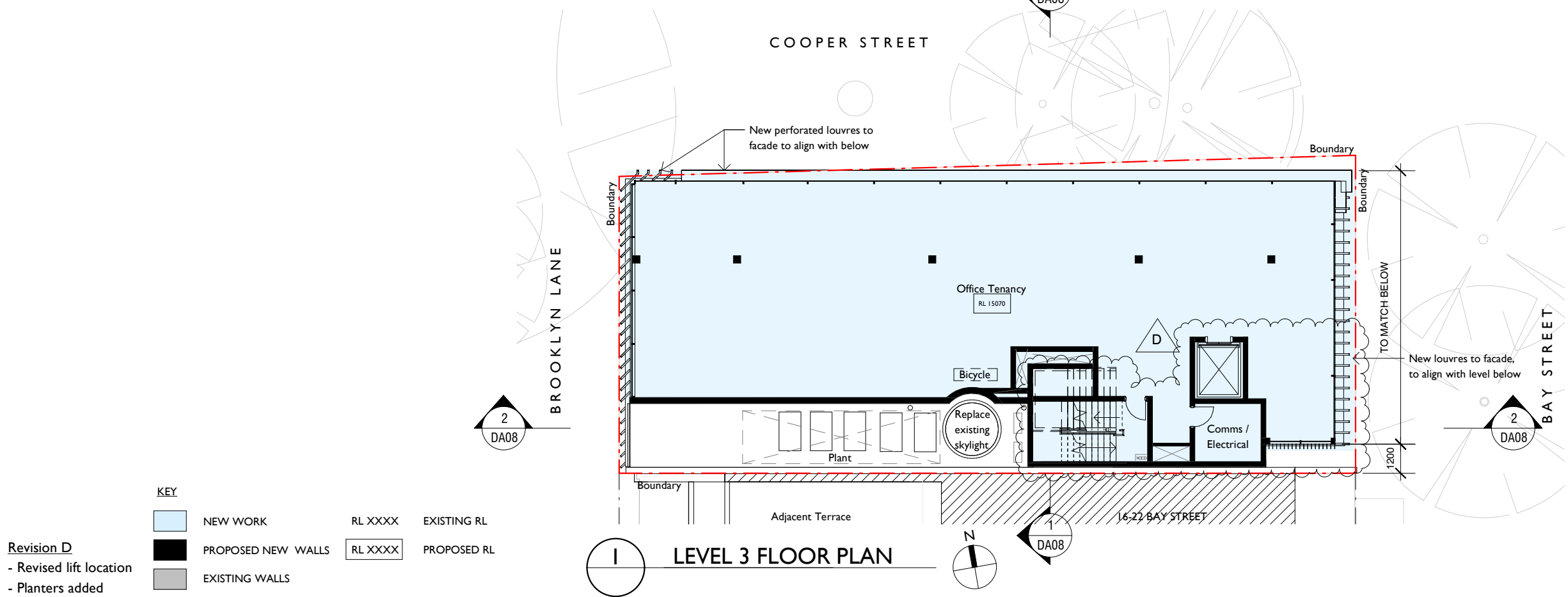
 NEW WORK	RL XXXX	EXISTING RL
 PROPOSED NEW WALLS	RL XXXX	PROPOSED RL
 EXISTING WALLS		

Revision D
 - Revised lift location
 - L2 Floor infilled

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665		project	PROPOSED REFURBISHMENT	scale 1 : 200 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21					address	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	WITHOUT PREJUDICE	13.08.21					drawing	LEVEL 1 + 2 PLANS	DA04	D
	C	FOR SECTION 34	20.09.21								
	D	POST S34 REVISIONS	28.09.21								



2 LEVEL 4 FLOOR PLAN



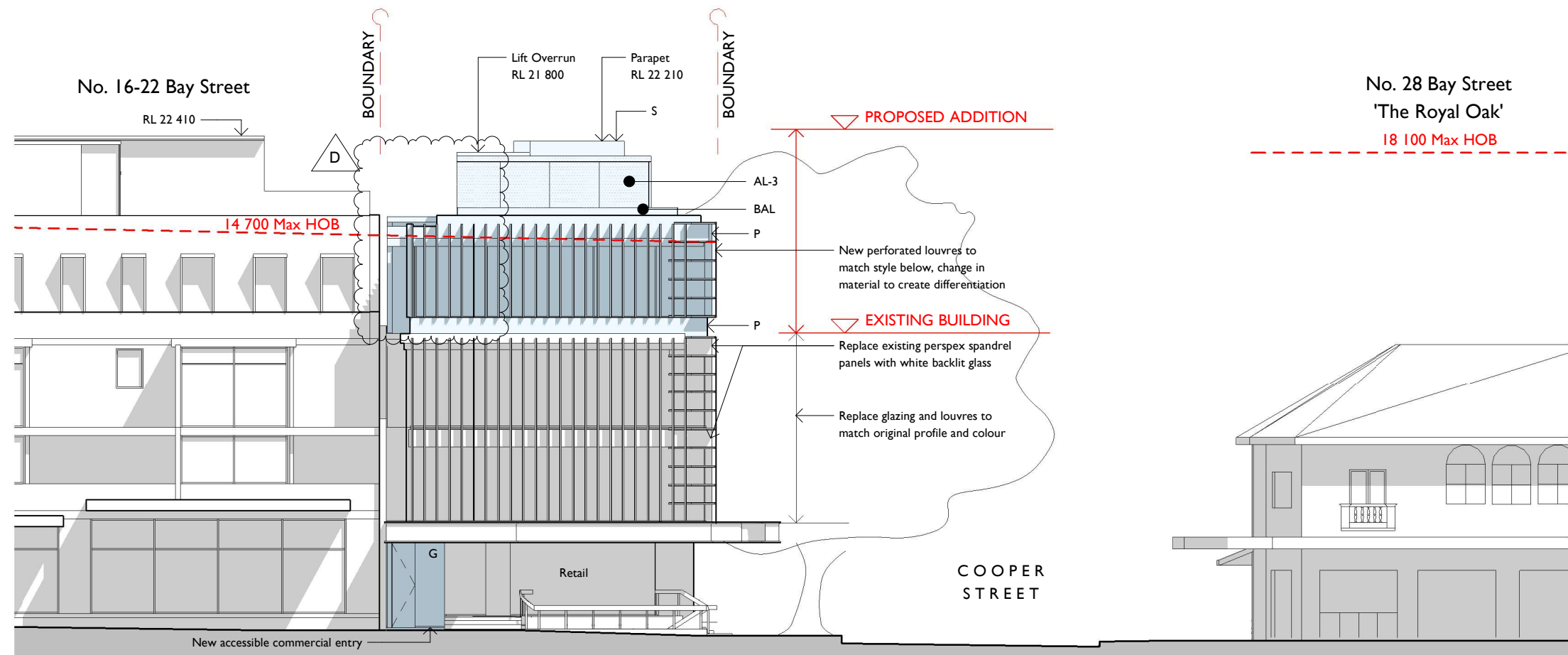
1 LEVEL 3 FLOOR PLAN

KEY

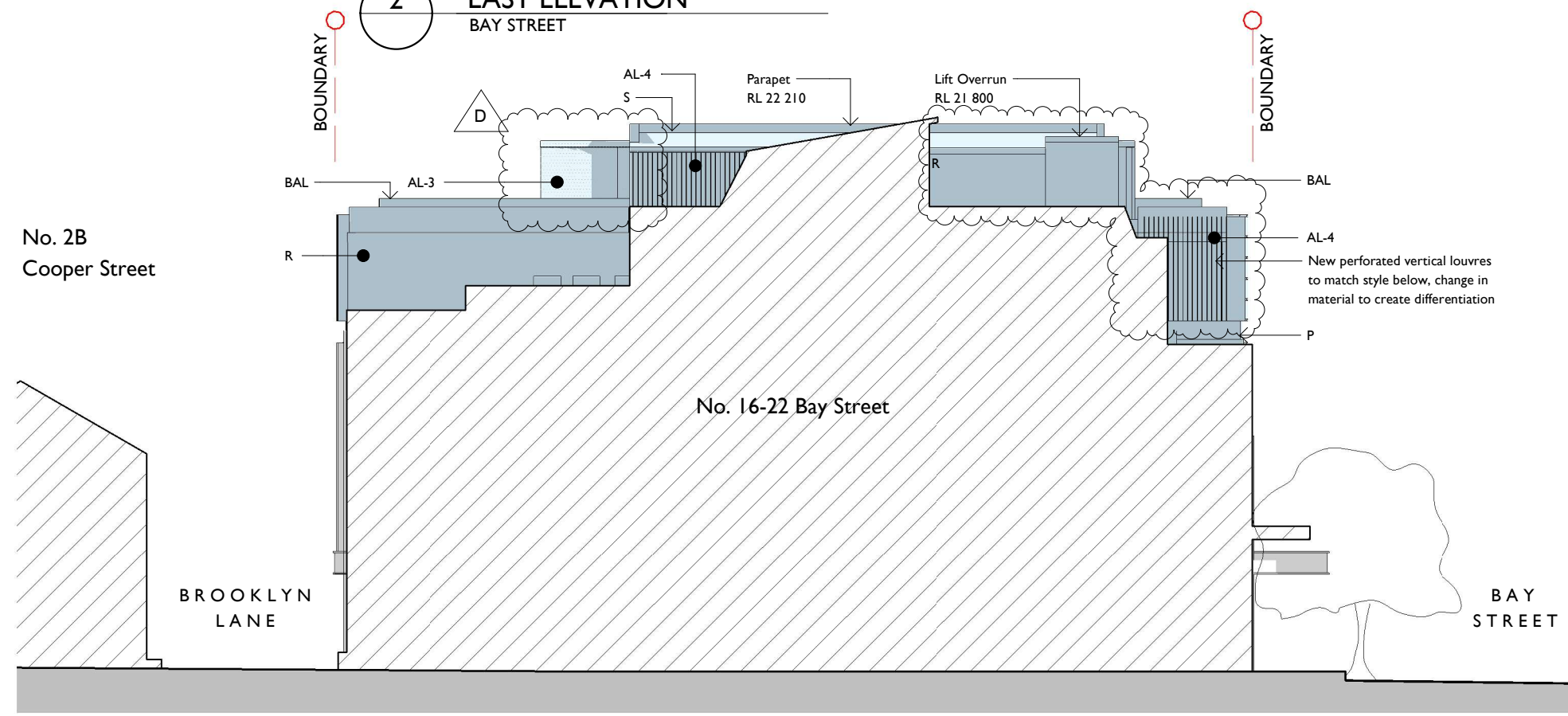
 NEW WORK	RL XXXX	EXISTING RL
 PROPOSED NEW WALLS	RL XXXX	PROPOSED RL
 EXISTING WALLS		

Revision D
 - Revised lift location
 - Planters added

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 t 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665		project	PROPOSED REFURBISHMENT	scale 1 : 200 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21					address	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	WITHOUT PREJUDICE	13.08.21								
	C	FOR SECTION 34	20.09.21								
	D	POST S34 REVISIONS	28.09.21					drawing	LEVEL 3 + 4 PLANS	DA05	D



2 EAST ELEVATION
BAY STREET



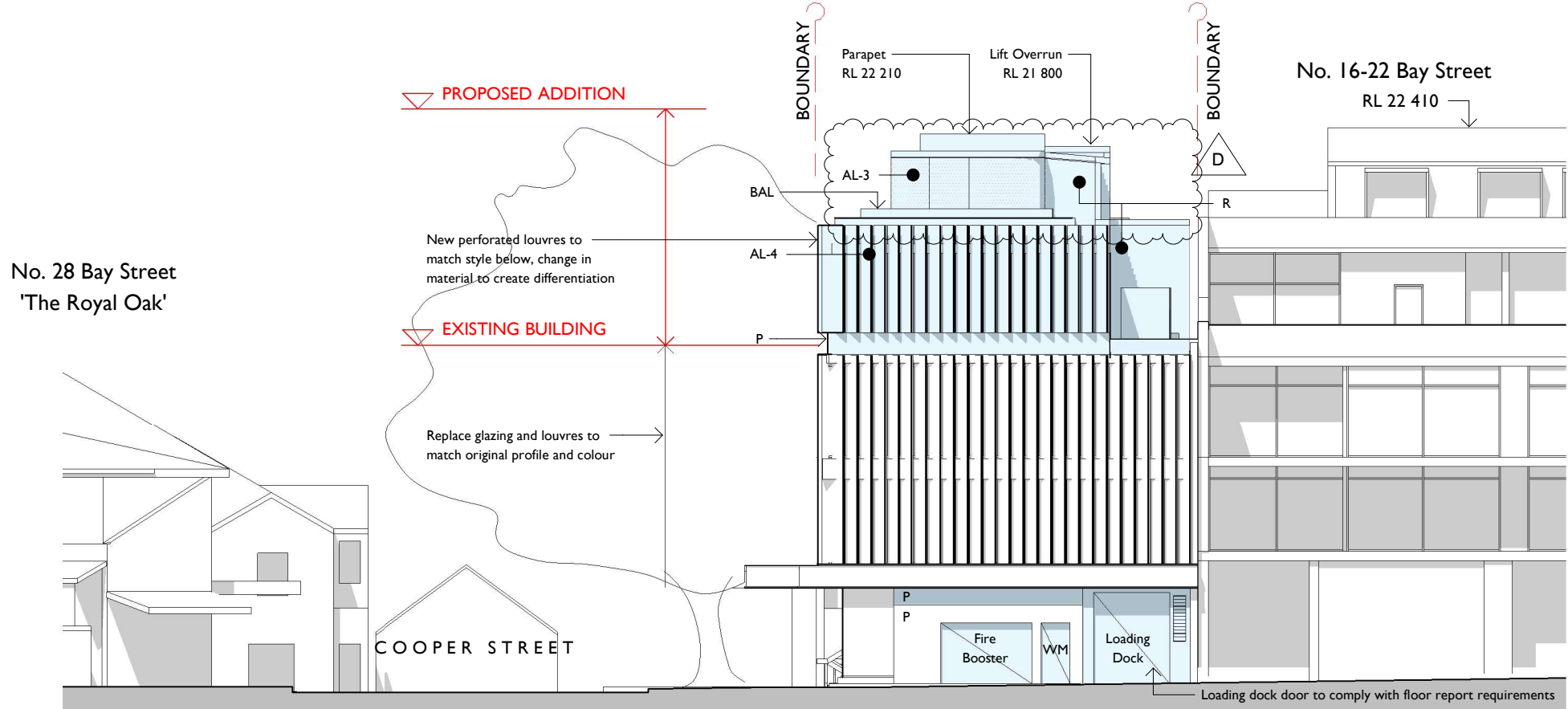
1 SOUTH ELEVATION

FINISHES	
R	RENDER & PAINT : WHITE
P	PAINT FINISH - DARK GREY
AL-1	ALUMINIUM FIN BODY : DARK BRONZE
AL-2	ALUMINIUM FIN DETAIL : BRUSHED STAINLESS STEEL
AL-3	PERFORATED SCREEN : DARK BRONZE or COPPER
AL-4	PERFORATED ALUMINIUM FIN : DARK BRONZE
G	CLEAR GLAZED WINDOWS
BAL	GLASS BALUSTRADE
S	ROOF SHEETING & FLASHING

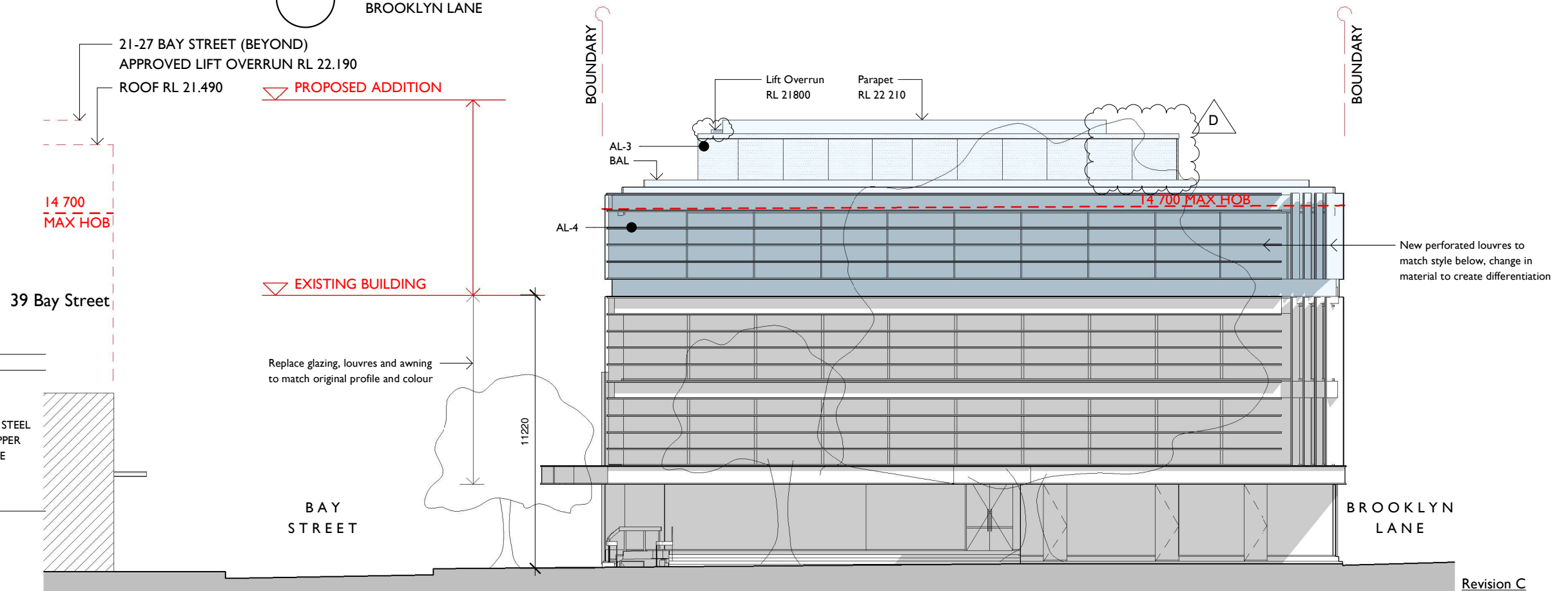
KEY	
	NEW WORK
	PROPOSED NEW WALLS
	EXISTING WALLS

Revision D
- Revised lift location
- Planters added

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665		project	PROPOSED REFURBISHMENT	scale 1 : 200 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21					address	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	WITHOUT PREJUDICE	13.08.21					drawing	SOUTH + EAST ELEVATIONS	DA06	D
	C	FOR SECTION 34	20.09.21								
	D	POST S34 REVISIONS	28.09.21								



2 WEST ELEVATION
BROOKLYN LANE



1 NORTH ELEVATION
COOPER STREET

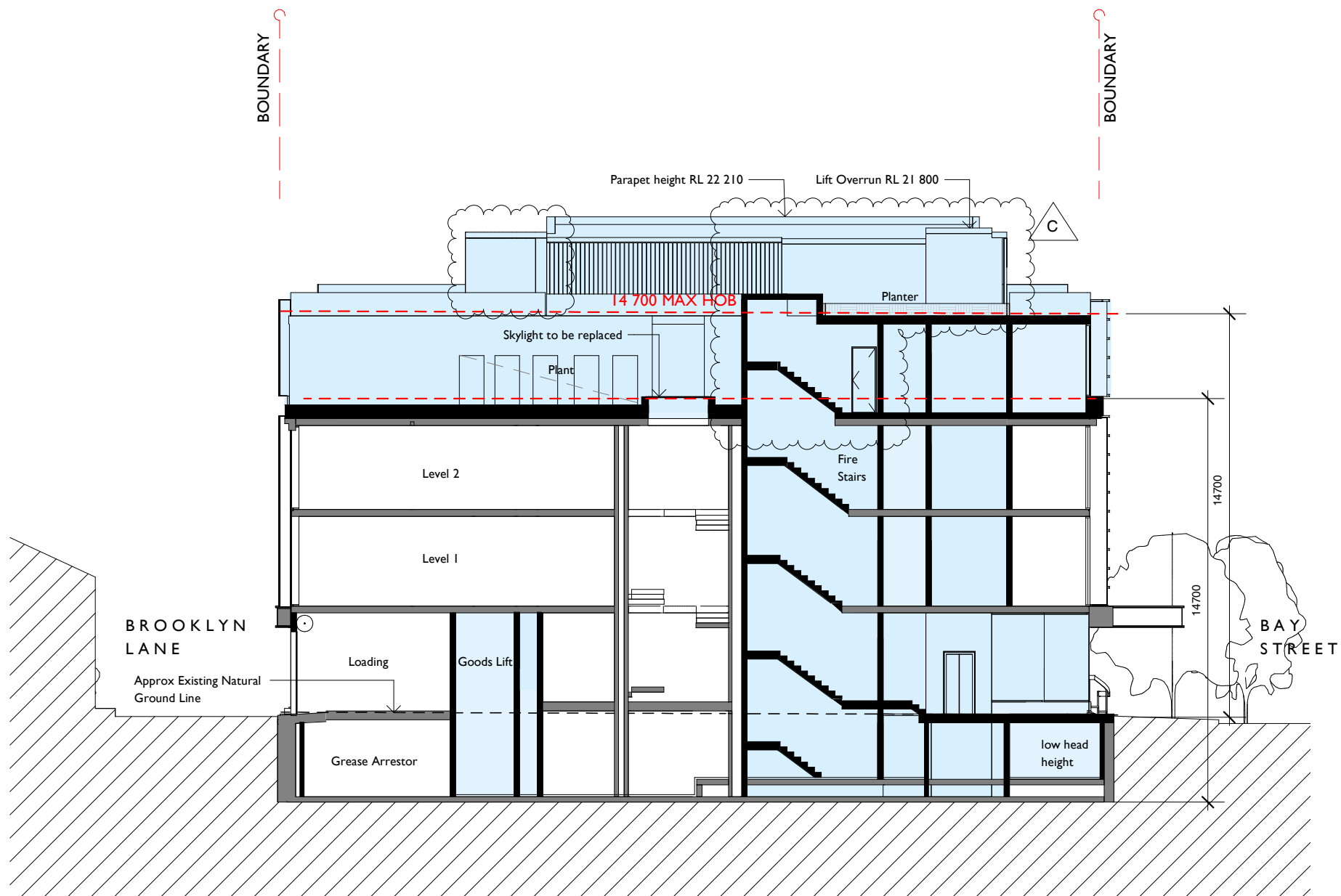
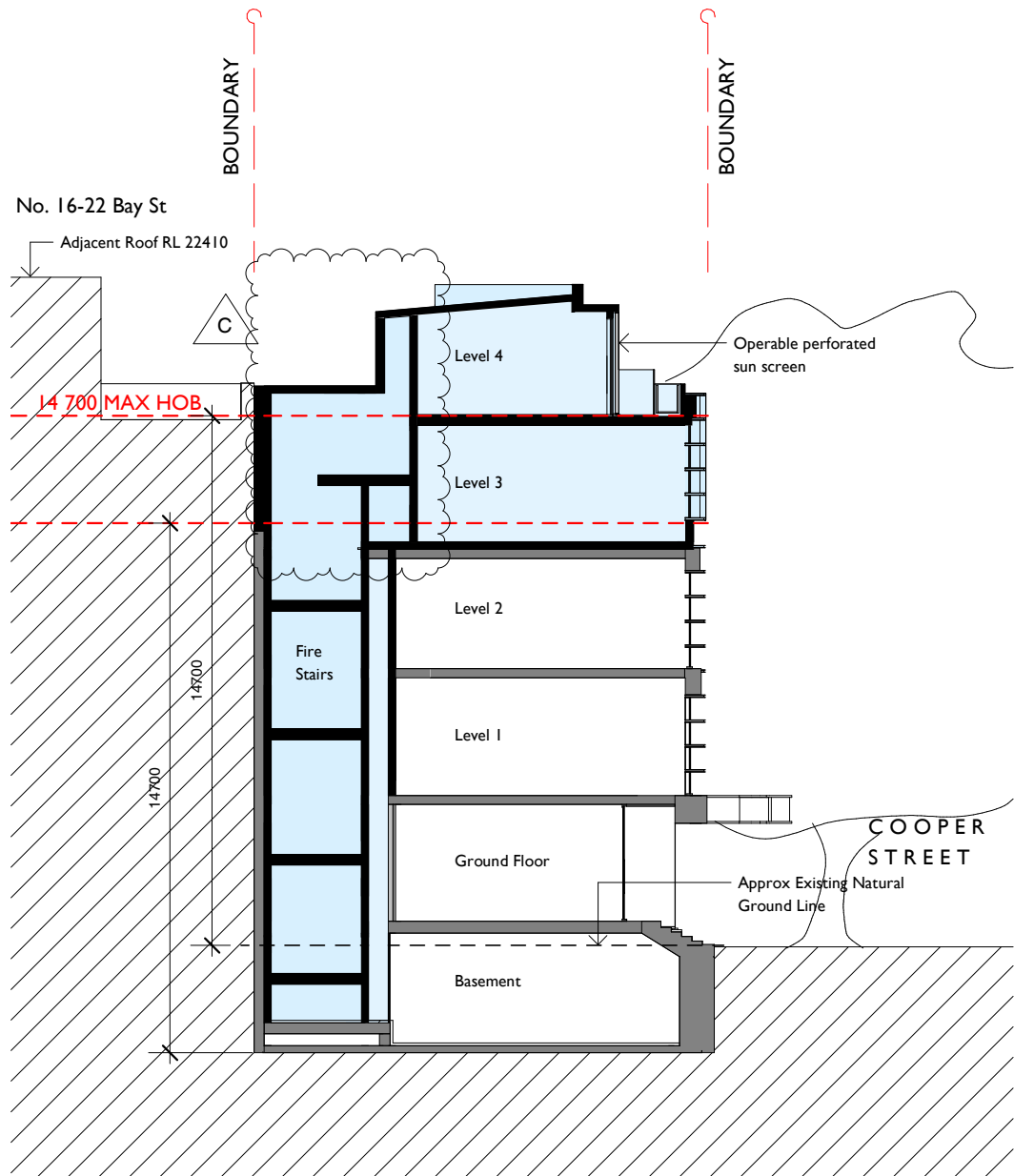
FINISHES	
R	RENDER & PAINT : WHITE
P	PAINT FINISH - DARK GREY
AL-1	ALUMINIUM FIN BODY : DARK BRONZE
AL-2	ALUMINIUM FIN DETAIL : BRUSHED STAINLESS STEEL
AL-3	PERFORATED SCREEN : DARK BRONZE or COPPER
AL-4	PERFORATED ALUMINIUM FIN : DARK BRONZE
G	CLEAR GLAZED WINDOWS
BAL	GLASS BALUSTRADE
S	ROOF SHEETING & FLASHING

KEY

NEW WORK	
PROPOSED NEW WALLS	
EXISTING WALLS	

Revision C
- Revised lift overrun
- Revised parapet detail
- Top level material revised

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 t 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665		project	PROPOSED REFURBISHMENT	scale 1 : 200 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21					address	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	WITHOUT PREJUDICE	13.08.21								
	C	FOR SECTION 34	20.09.21								
	D	POST S34 REVISIONS	28.09.21					drawing	NORTH + WEST ELEVATIONS	DA07	D



1 BUILDING SECTION
LOOKING WEST

2 BUILDING SECTION
LOOKING NORTH

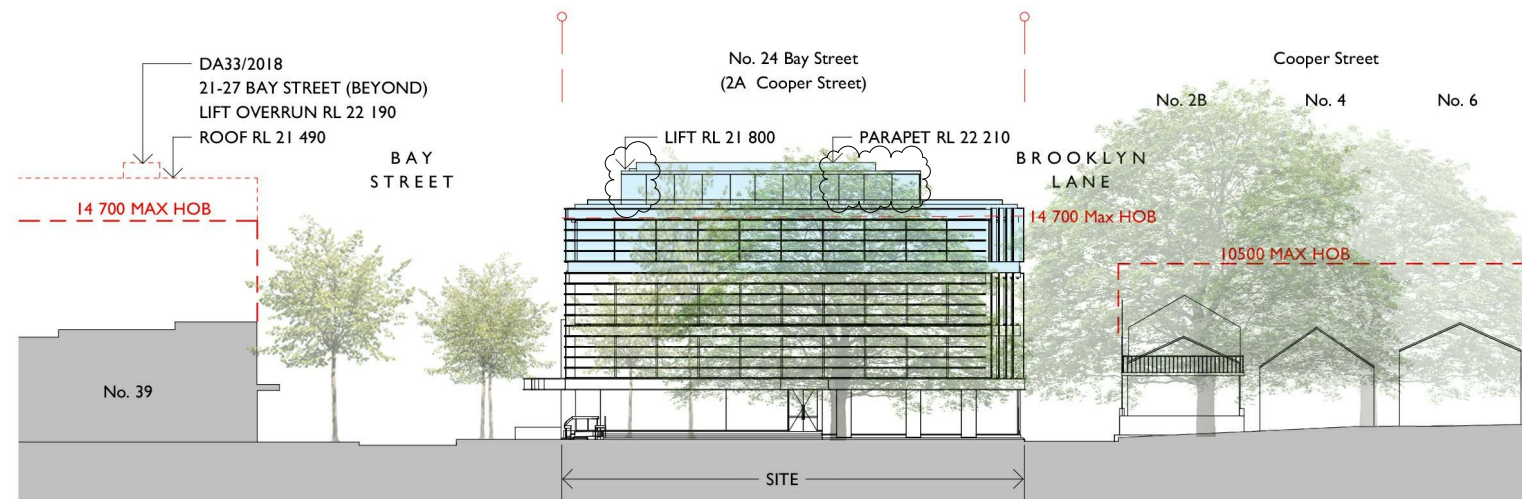
Revision C

- Revised lift location
- Planters added

KEY

- NEW WORK
- PROPOSED NEW WALLS
- EXISTING WALLS

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHEMENT	scale 1 : 200 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A B C	DA SUBMISSION FOR SECTION 34 POST S34 REVISIONS	05.02.21 20.09.21 28.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	address 24 BAY STREET, DOUBLE BAY drawing SECTIONS	dwg no DA08	issue C



1 COOPER STREET ELEVATION



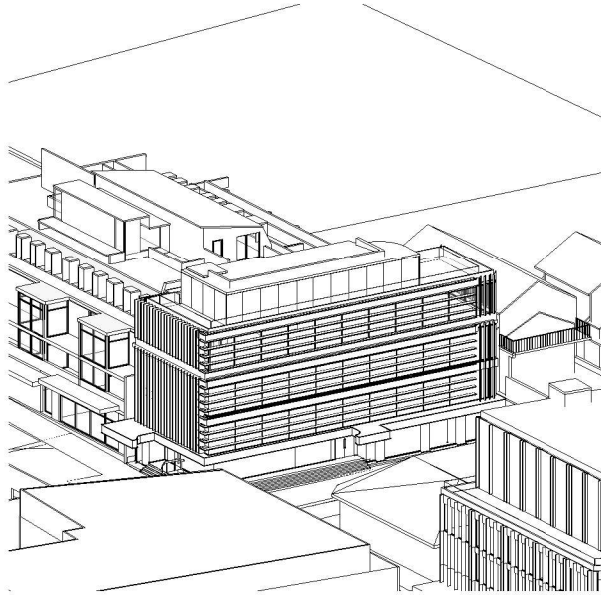
2 BAY STREET ELEVATION

Revision D
- Revised lift location

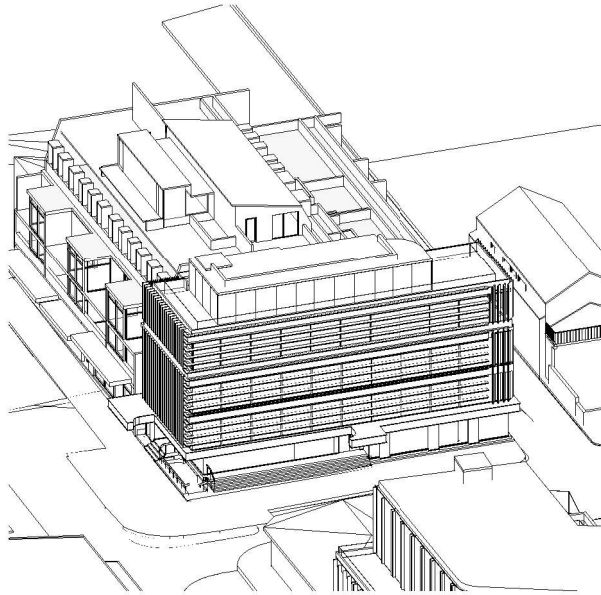
Revision D
- Revised lift location

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21			address	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	WITHOUT PREJUDICE	13.08.21			drawing	STREET SECTION	DA09	D
	C	FOR SECTION 34	20.09.21						
	D	POST S34 REVISIONS	28.09.21						

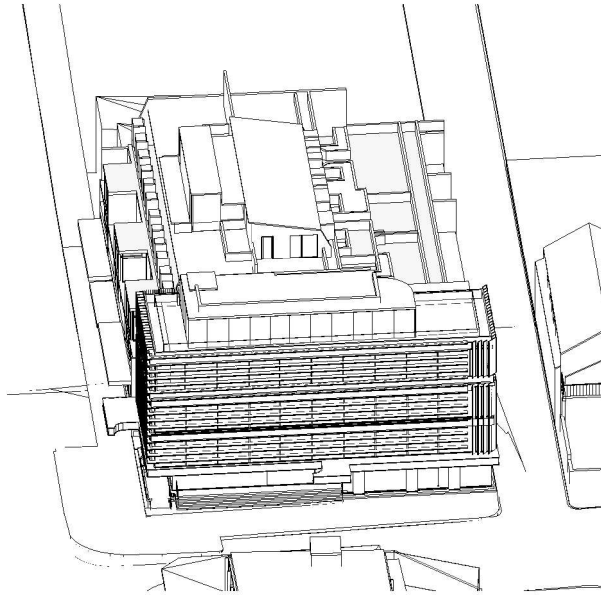
Lawton Hurley
Architecture Interiors Planning
Studio 3.03, 30-36 Bay Street
Double Bay NSW 2028
T 61 2 9360 5300
info@lawtonhurley.com.au
ABN 94 105 274 235
Doug Lawton Architect No 5665



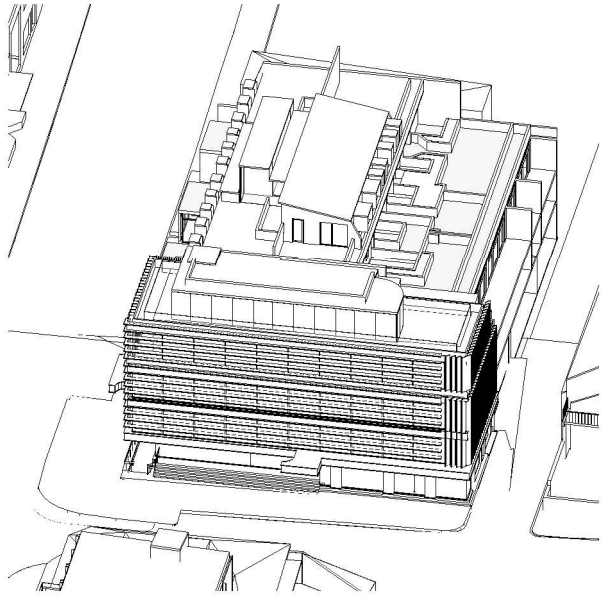
1 Revised Massing - Sun Eye 9am



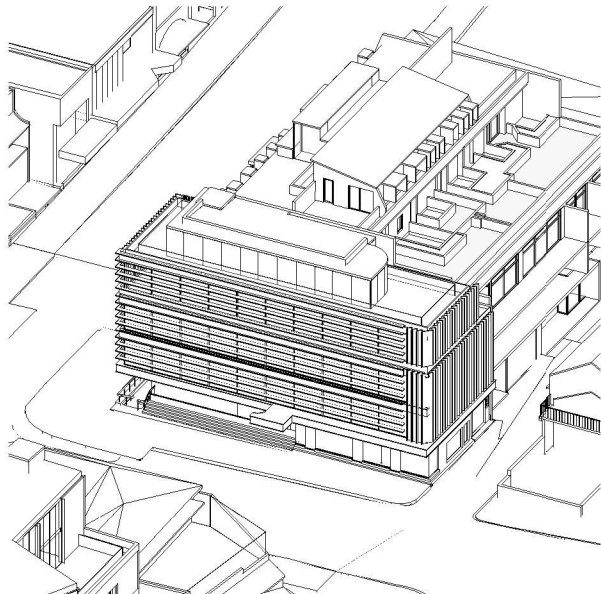
2 Revised Massing - Sun Eye 10am



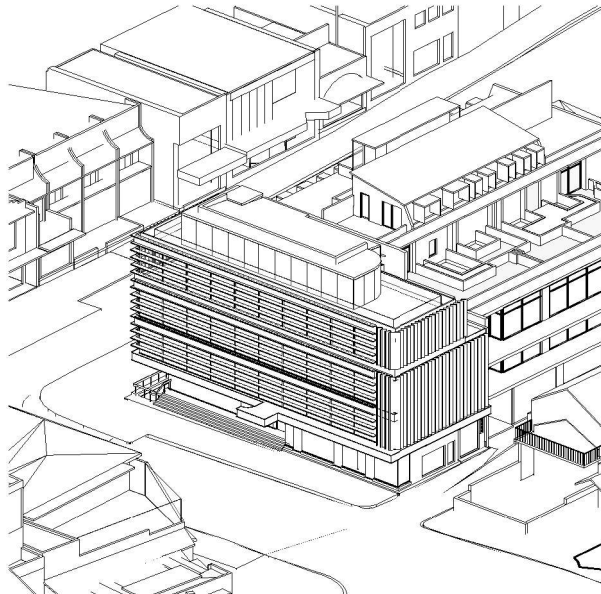
3 Revised Massing - Sun Eye 11am



4 Revised Massing - Sun Eye 12pm



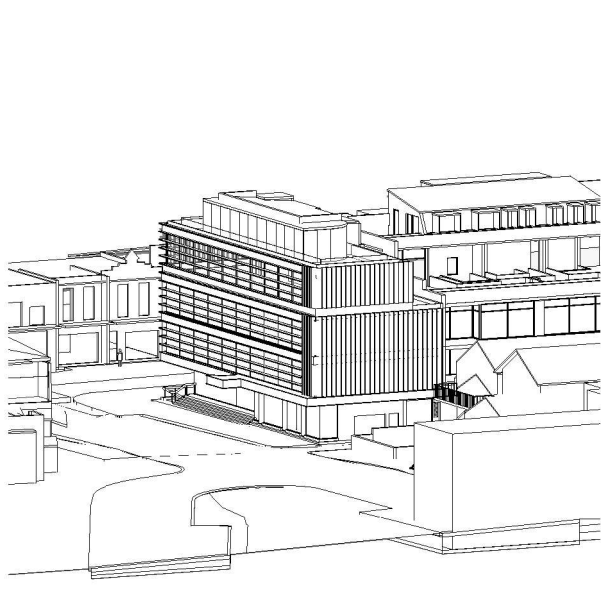
5 Revised Massing - Sun Eye 1pm



6 Revised Massing - Sun Eye 2pm



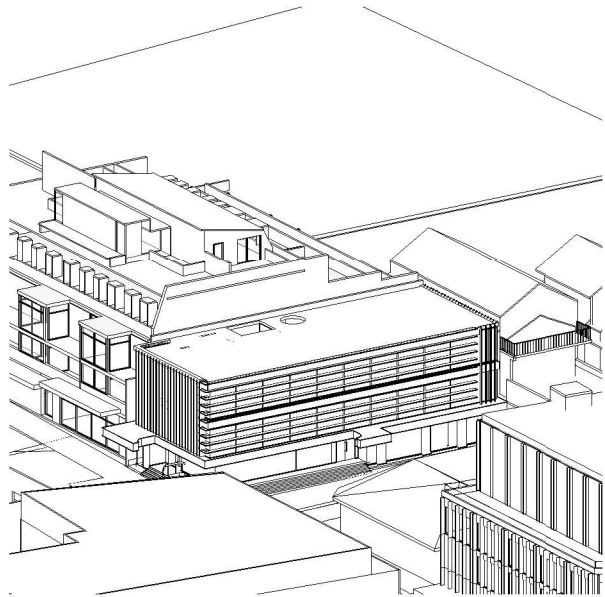
7 Revised Massing - Sun Eye 3pm



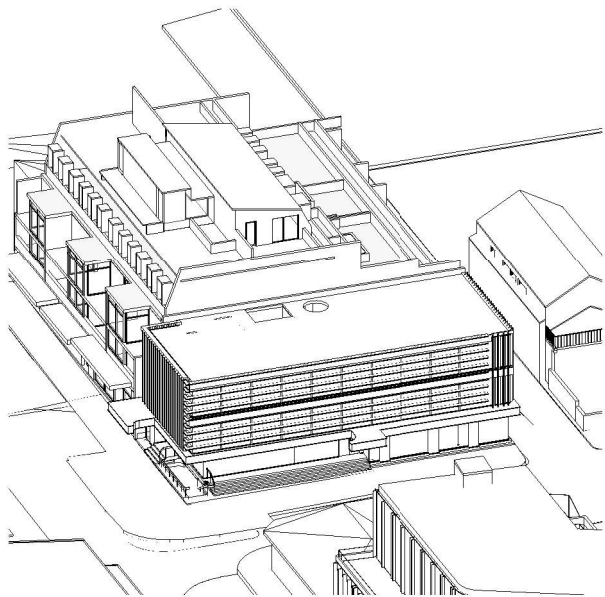
8 Revised Massing - Sun Eye 4pm

Revision C
- Revised lift overrun
- Revised parapet detail

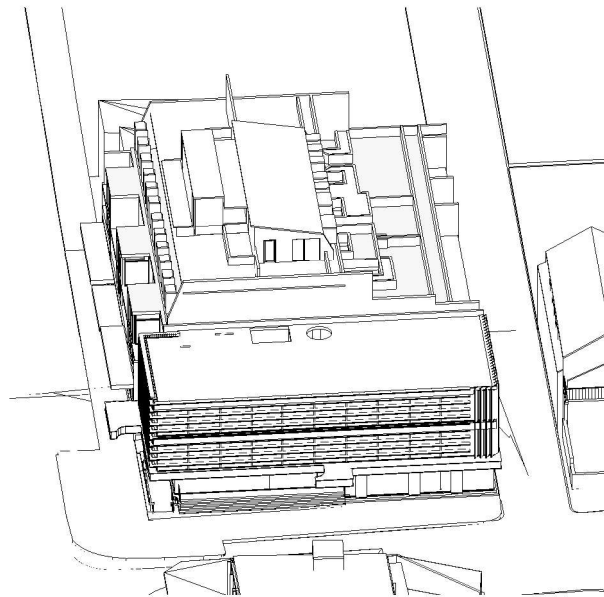
notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A B C	WITHOUT PREJUDICE FOR SECTION 34 POST S34 REVISIONS	13.08.21 20.09.21 28.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 t 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	address 24 BAY STREET, DOUBLE BAY	dwg no DAI3	issue C
						drawing	REVISED MASSING SUN EYE VIEWS		



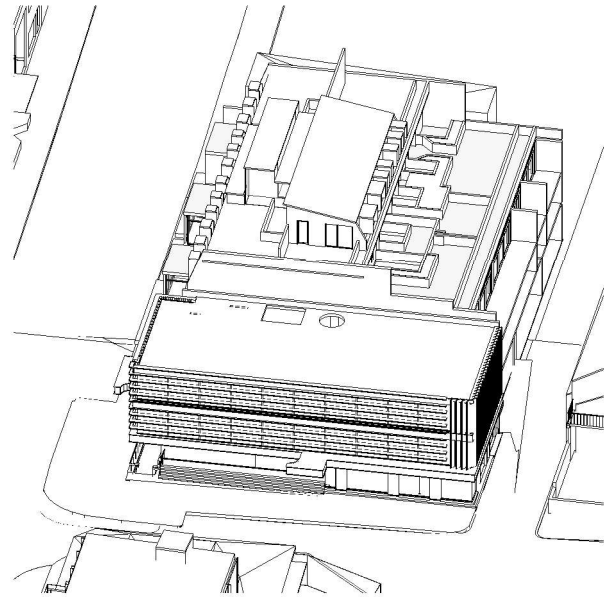
1 Existing - Sun Eye 9am



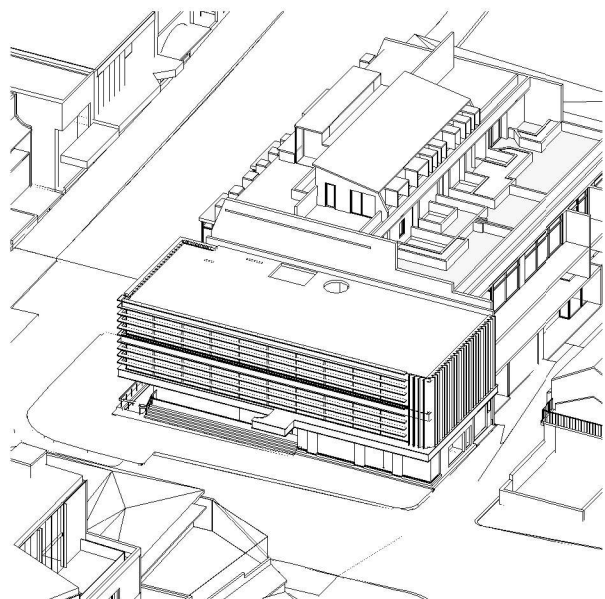
2 Existing - Sun Eye 10am



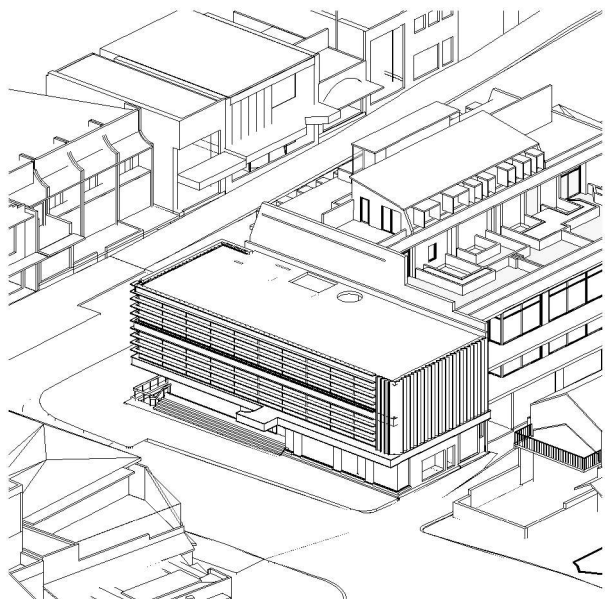
3 Existing - Sun Eye 11am



4 Existing - Sun Eye 12pm



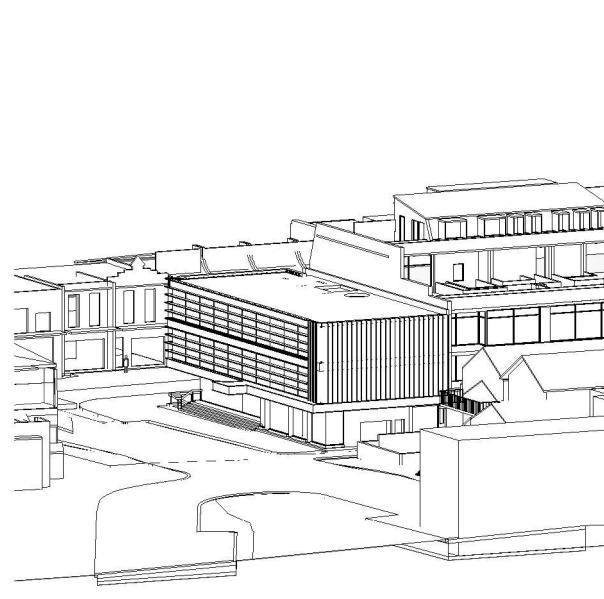
5 Existing - Sun Eye 1pm



6 Existing - Sun Eye 2pm

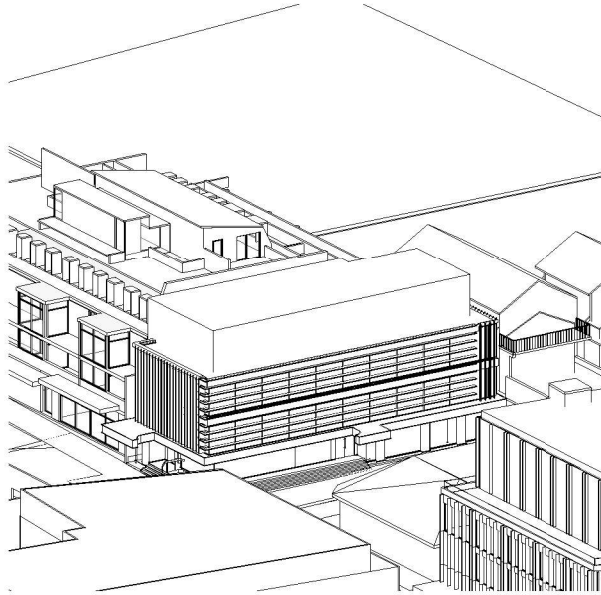


7 Existing - Sun Eye 3pm

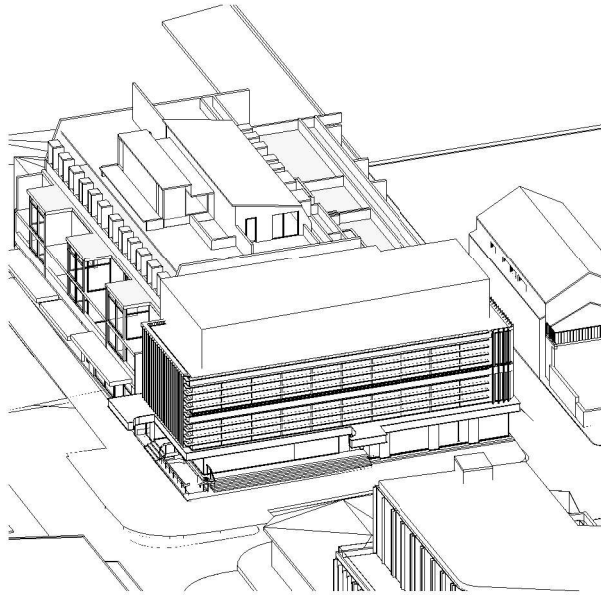


8 Existing - Sun Eye 4pm

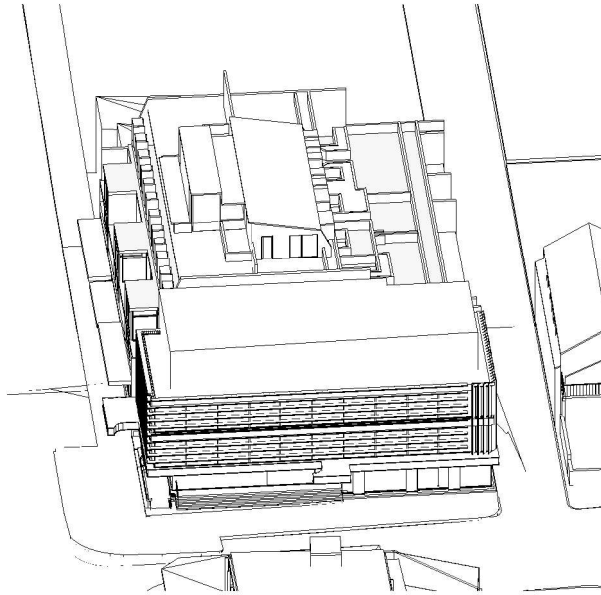
notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY	Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	project	PROPOSED REFURBISHMENT	scale on A3	job no J316	
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21		address	24 BAY STREET, DOUBLE BAY	dwg no	DAI4	issue	A
					drawing	EXISTING SUN EYE VIEWS - JUNE 21				



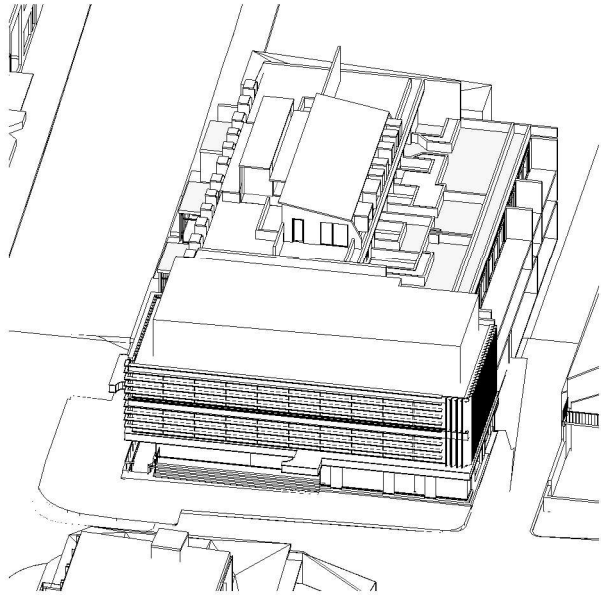
1 Compliant - Sun Eye 9am



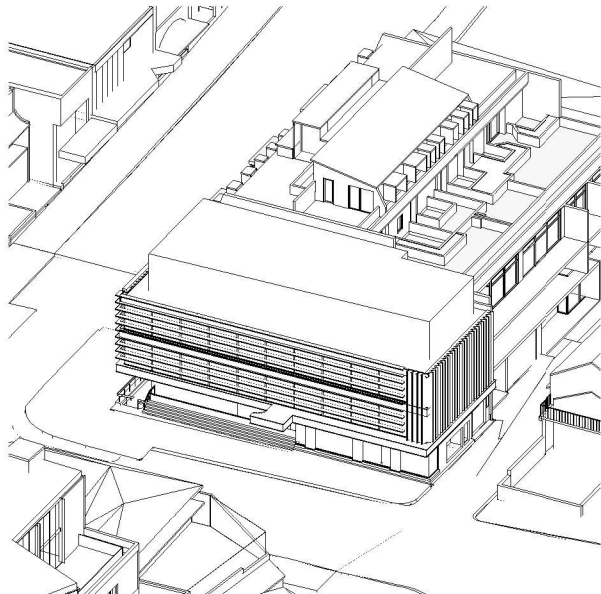
2 Compliant - Sun Eye 10am



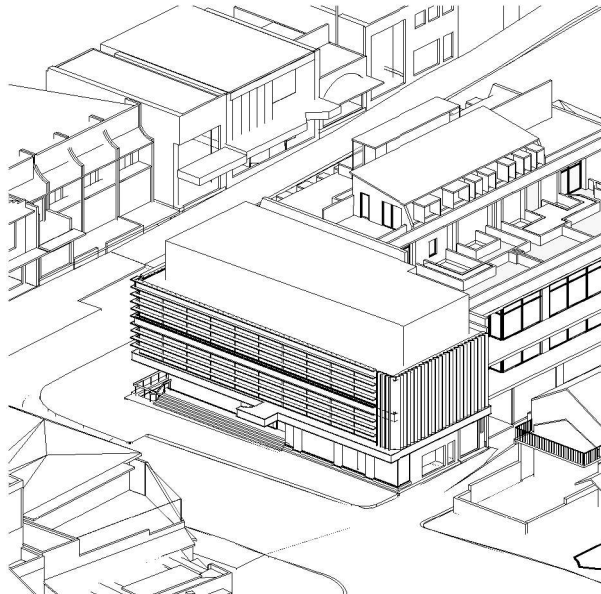
3 Compliant - Sun Eye 11am



4 Compliant - Sun Eye 12pm



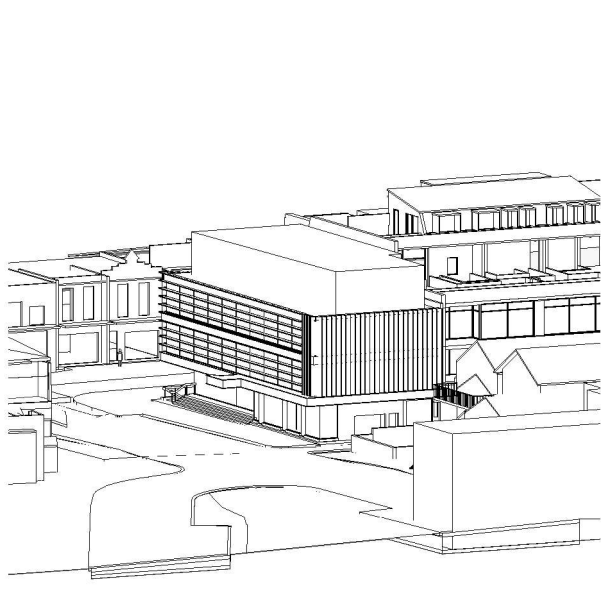
5 Compliant - Sun Eye 1pm



6 Compliant - Sun Eye 2pm

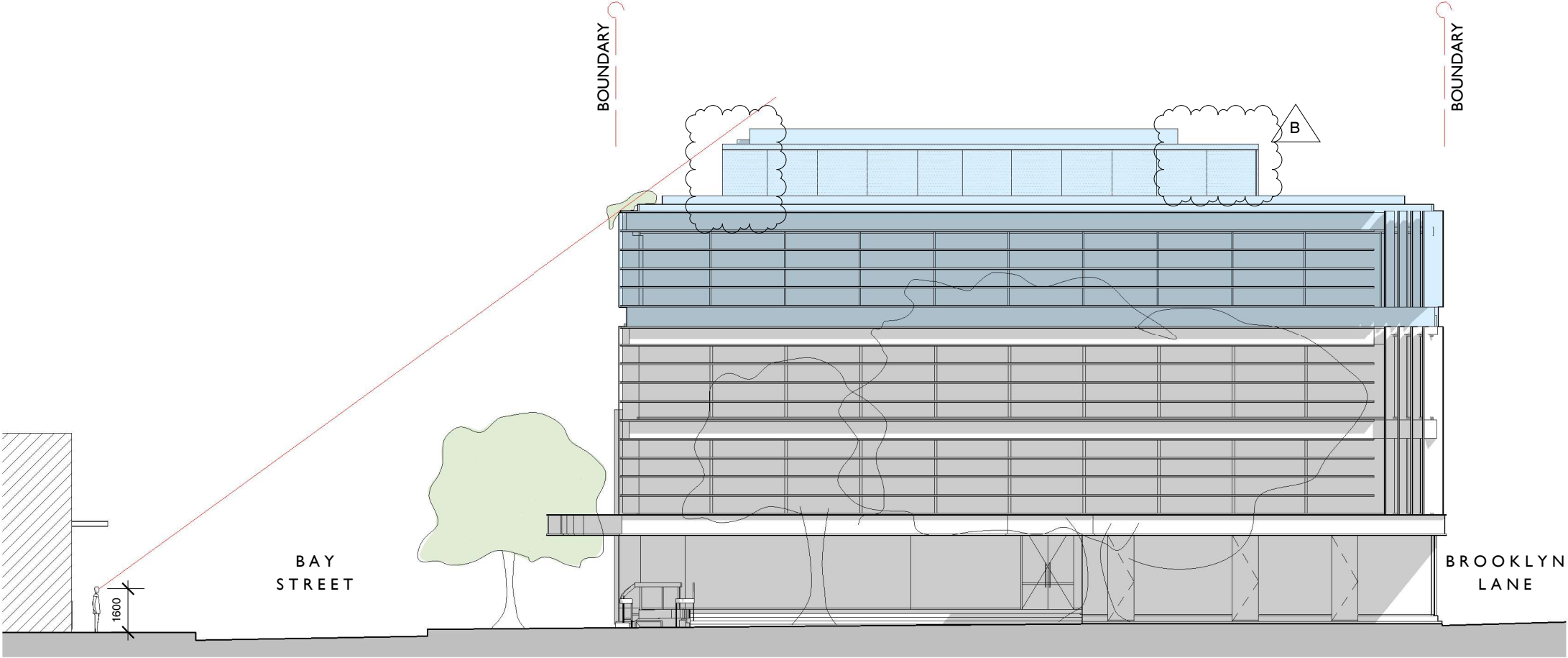


7 Compliant - Sun Eye 3pm

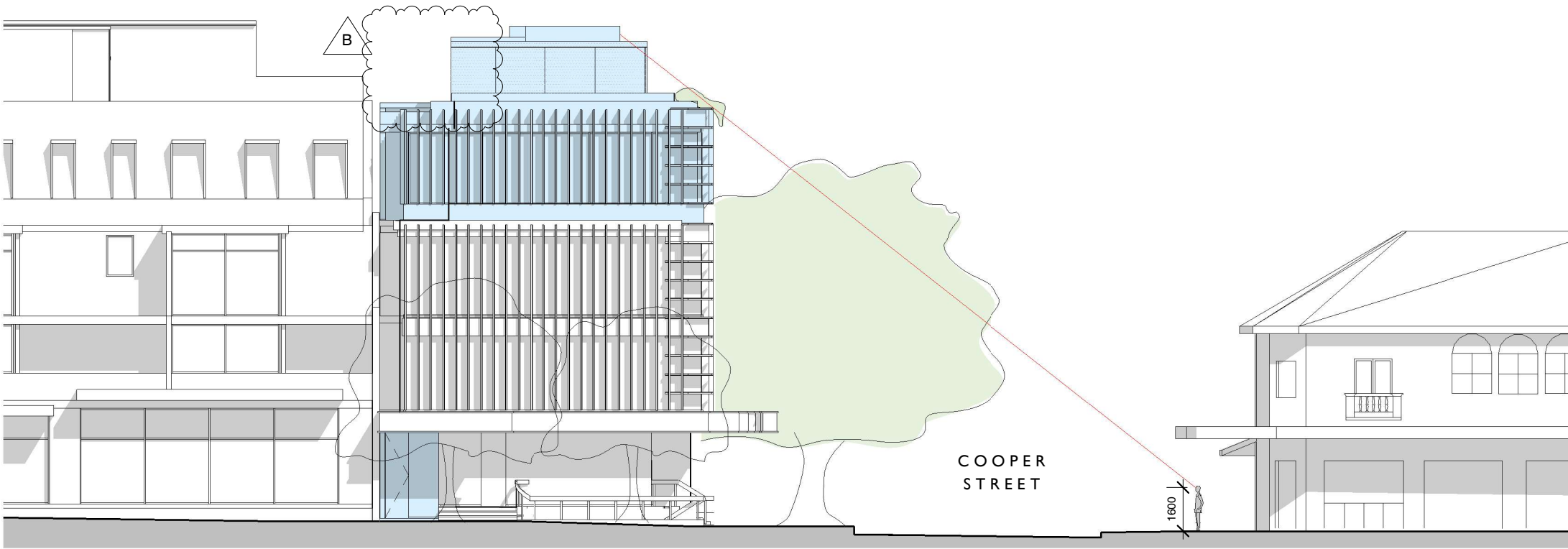


8 Compliant - Sun Eye 4pm

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY	Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	project	PROPOSED REFURBISHMENT	scale on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21			address	24 BAY STREET, DOUBLE BAY	dwg no	issue
						drawing	COMPLIANT ENVELOPE VIEWS - JUNE 21	DA16	A



1 NORTH ELEVATION - SIGHT LINES



2 EAST ELEVATION - SIGHT LINES

Revision B
- Revised lift location
- Planters added

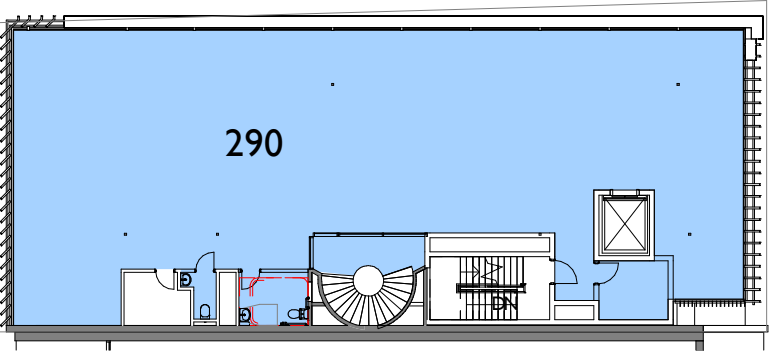
notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 200 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A B	FOR SECTION 34 POST S34 REVISIONS	20.09.21 28.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	address 24 BAY STREET, DOUBLE BAY drawing SIGHT LINES	dwg no DA40	issue B

GROSS FLOOR AREA - PROPOSED AREA (M²)

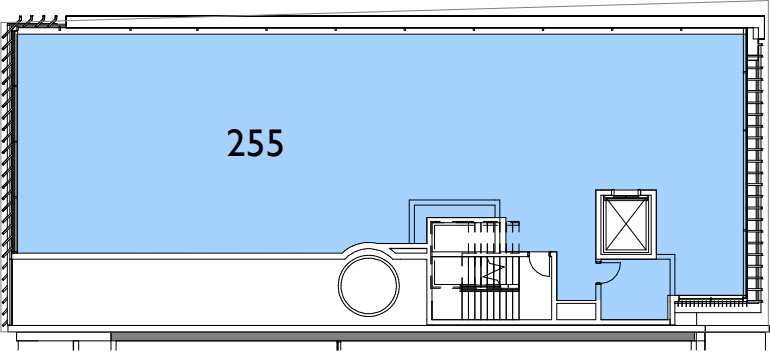
LEVEL	RETAIL, F&B	COMMERCIAL
BASEMENT	138	
GROUND FLOOR	205	17
LEVEL ONE		290
LEVEL TWO		290
LEVEL THREE		255
LEVEL FOUR		99
SUB TOTAL	343	951
TOTAL	1,294	
SITE AREA	386	
FSR	3.35 : 1	

EXCLUDING BASEMENT	
SITE AREA	386
GFA	1,156
FSR	2.99:1

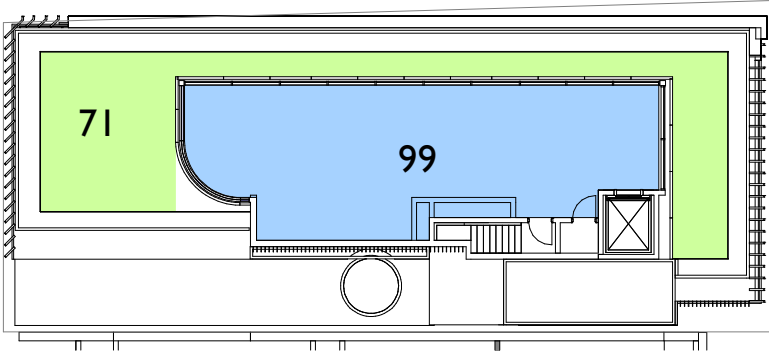
- COMMERCIAL GROSS FLOOR AREA
- RETAIL GROSS FLOOR AREA
- FOOD & BEVERAGE AREA
- TERRACE AREA



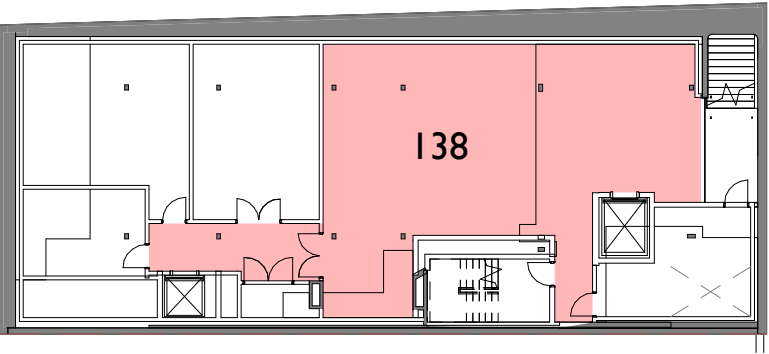
4 LEVEL 2 - REVISED



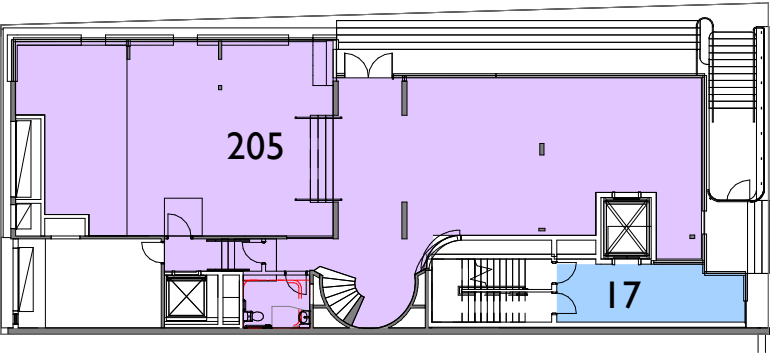
5 LEVEL 3 - REVISED



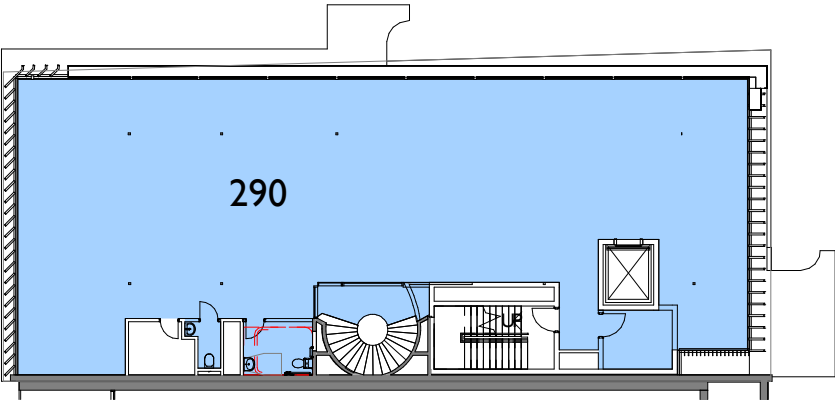
6 LEVEL 4 - REVISED



1 LOWER GROUND FLOOR - REVISED



2 GROUND FLOOR - REVISED



3 LEVEL 1 - REVISED

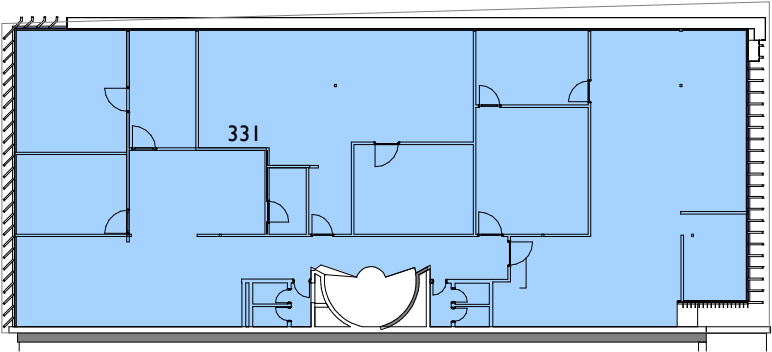
notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 300 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	FOR SECTION 34	20.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T: 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	24 BAY STREET, DOUBLE BAY	dwg no DA49	issue A
							GFA REVISED		

GROSS FLOOR AREA - EXISTING AREA (M²)

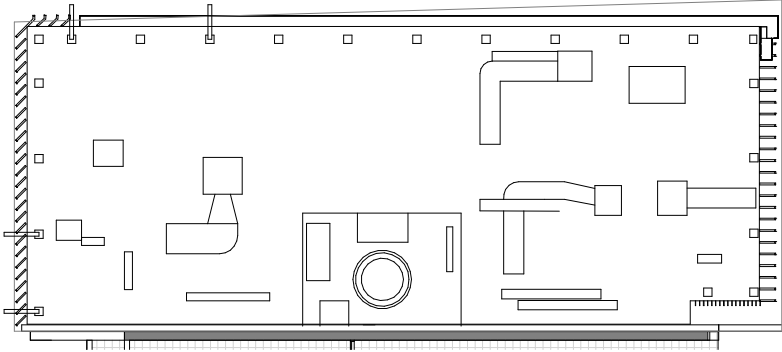
LEVEL	RETAIL, F&B	COMMERCIAL
BASEMENT	301	
GROUND FLOOR	262	
LEVEL ONE		331
LEVEL TWO		331
LEVEL THREE	-	
LEVEL FOUR	-	
SUB TOTAL	563	662
TOTAL	1,225	
SITE AREA	386	
FSR	3.17 : 1	

EXCLUDING BASEMENT	
SITE AREA	386
GFA	924
FSR	2.39:1

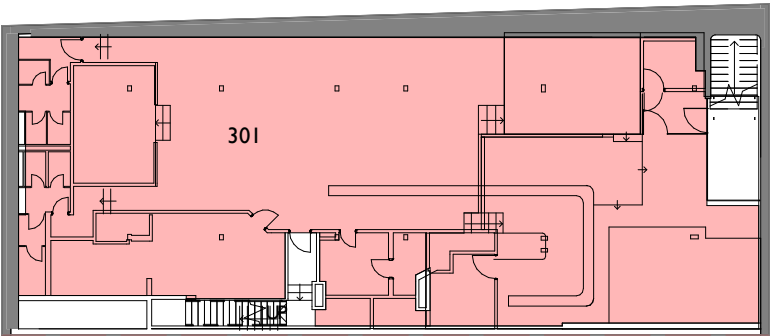
- COMMERCIAL GROSS FLOOR AREA
- RETAIL GROSS FLOOR AREA
- FOOD & BEVERAGE AREA



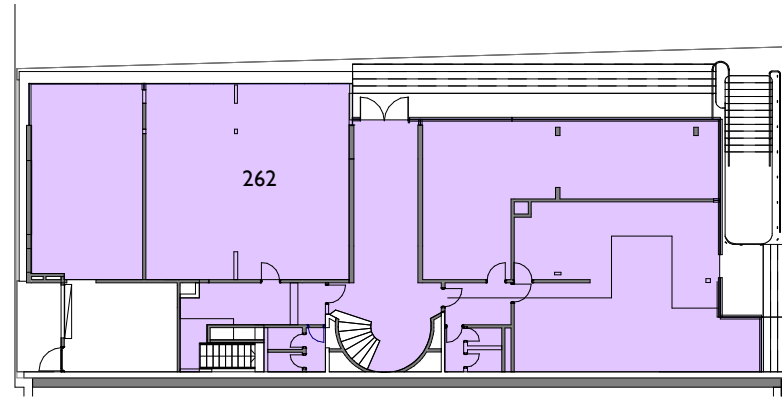
4 LEVEL 2 - EXISTING



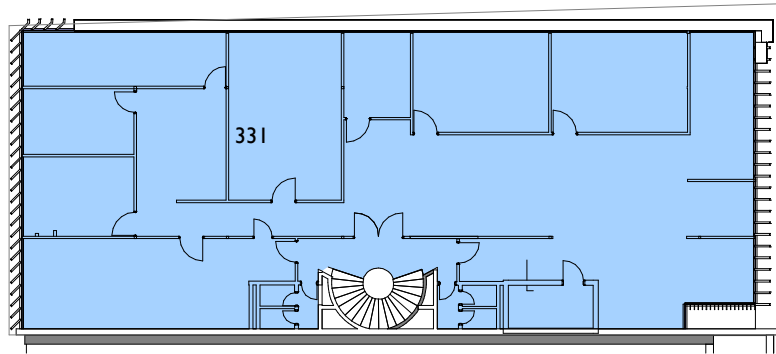
5 ROOF - EXISTING



1 LOWER GROUND FLOOR - EXISTING

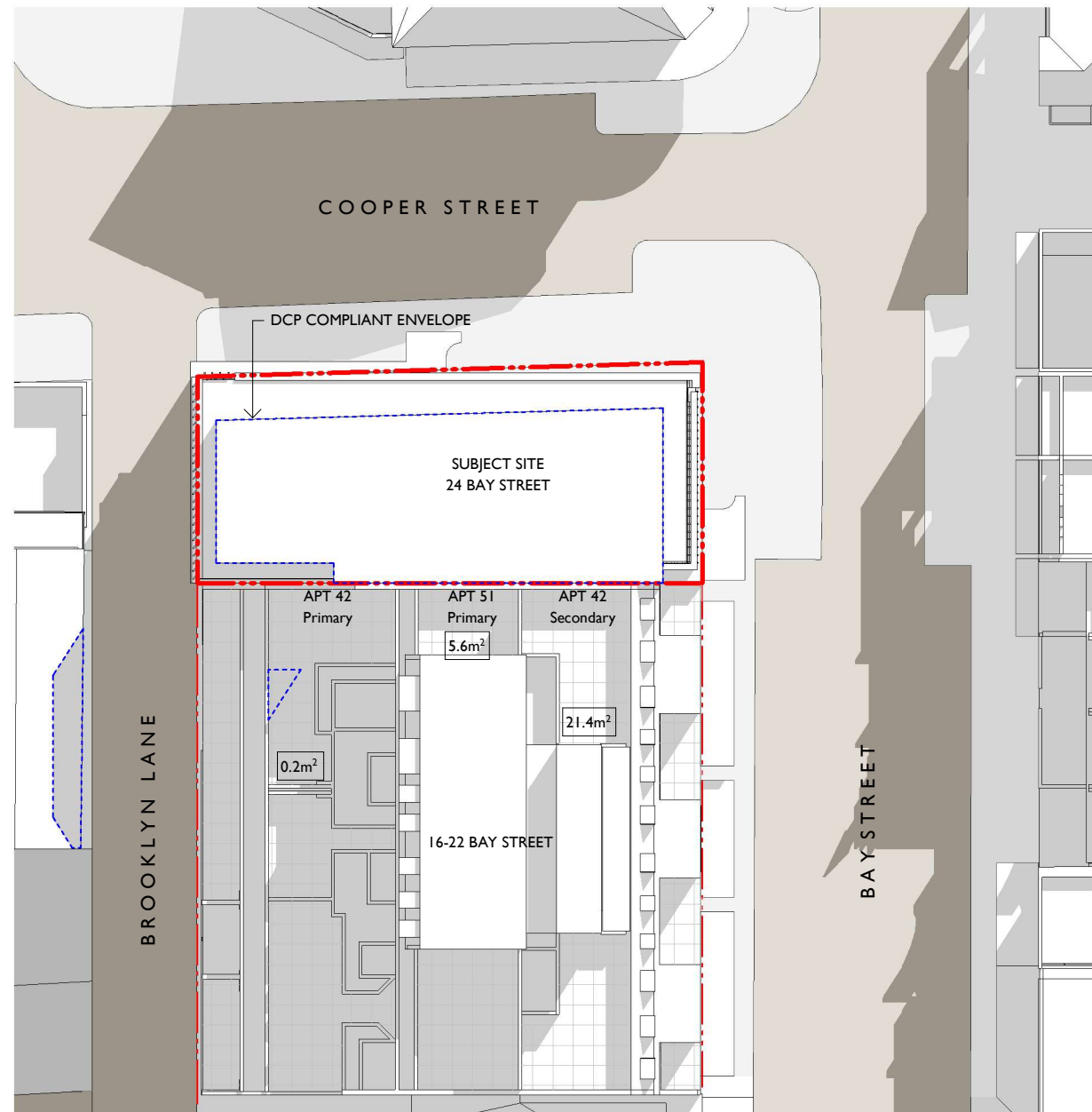


2 GROUND FLOOR - EXISTING

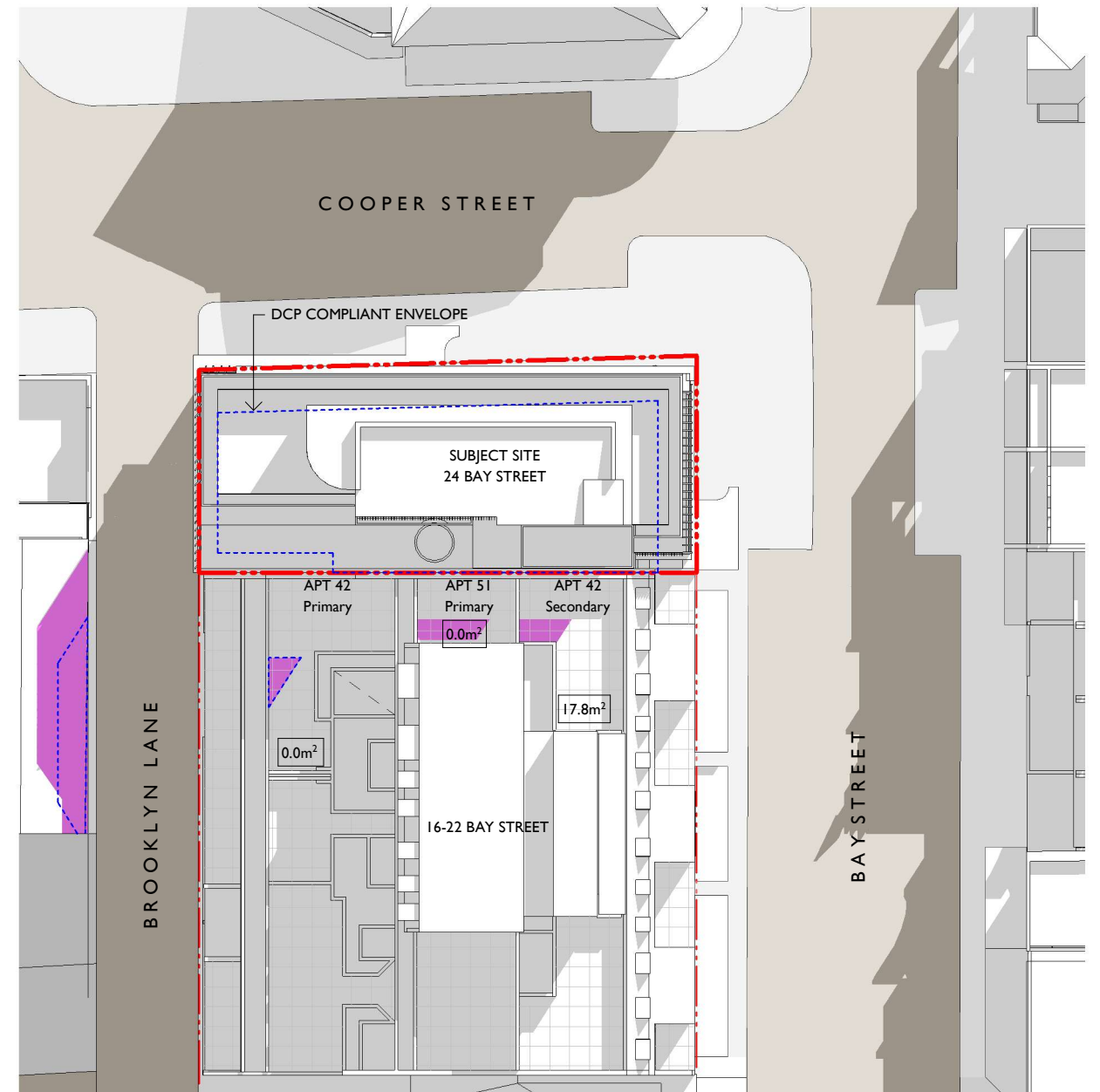


3 LEVEL 1 - EXISTING

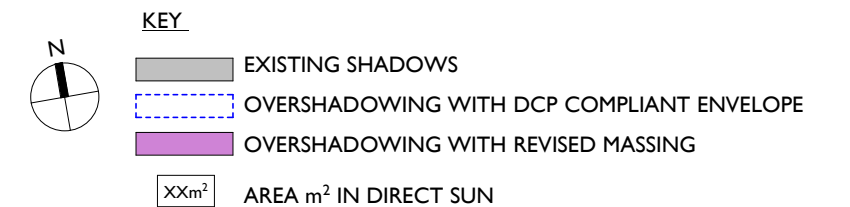
notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 300 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	DA SUBMISSION	05.02.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	address 24 BAY STREET, DOUBLE BAY	dwg no DA50	issue A
						drawing	GFA EXISTING		



1 WINTER SOLSTICE - 9am DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 9am REVISED



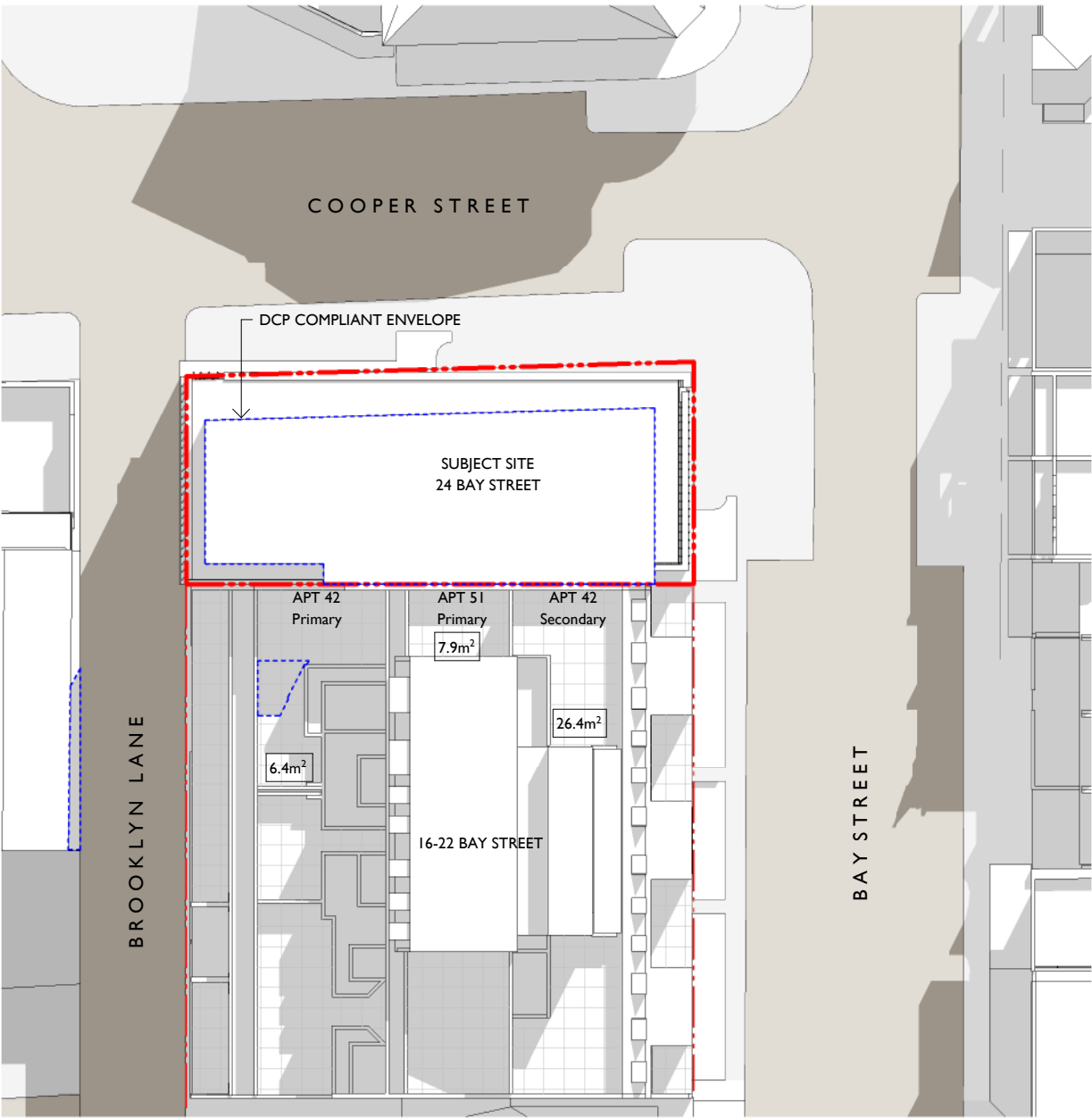
Revision D

- Revised lift location
- Planters added

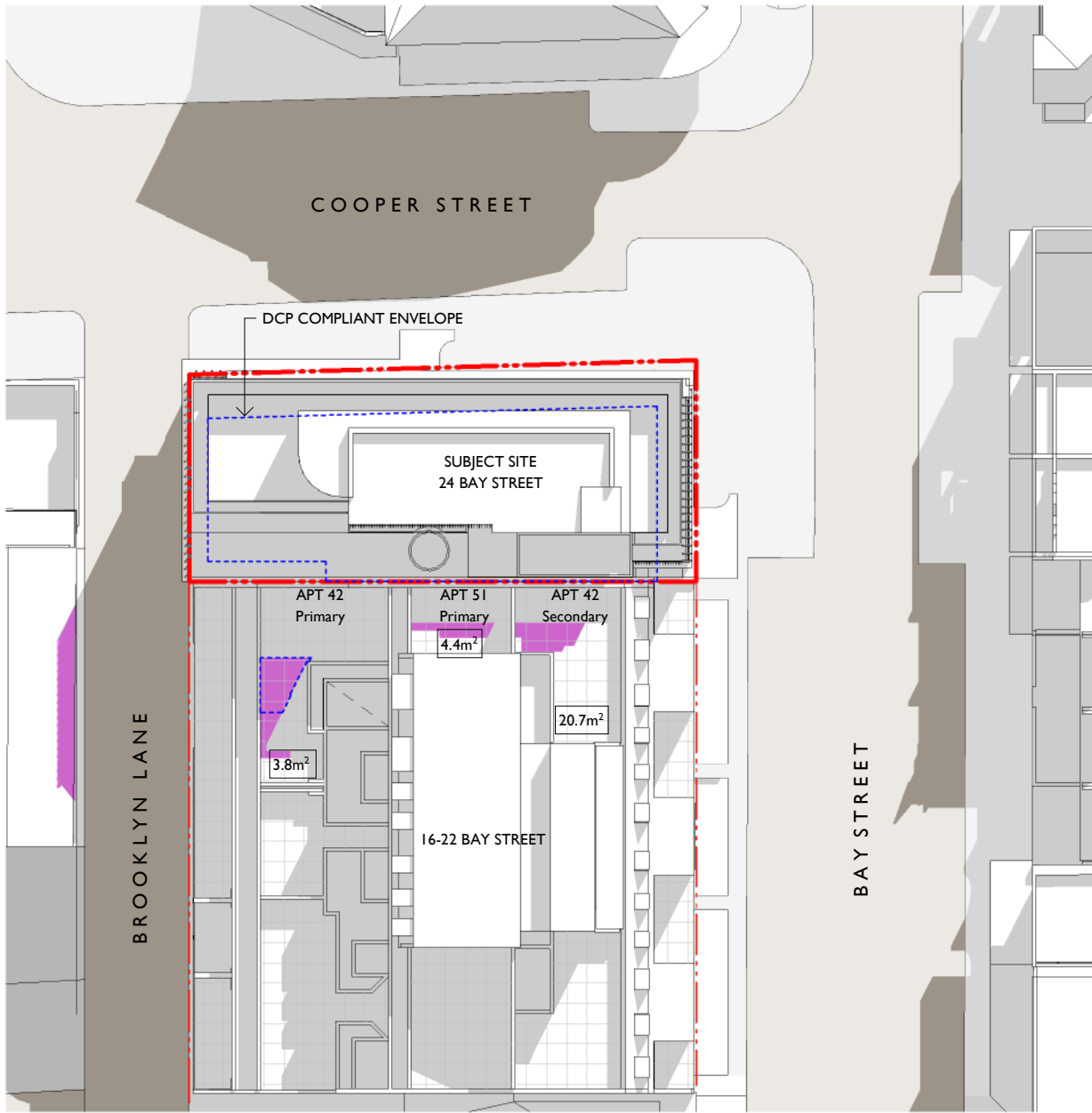
BALCONY AREAS

- UNIT 42 Primary - 53m²
- UNIT 42 Secondary - 46m²
- UNIT 51 Primary - 23m²

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	WITHOUT PREJUDICE	13.08.21			Lawton Hurley Architecture Interiors Planning	PROPOSED REFURBISHMENT		
	B	FOR REVIEW	13.09.21			Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au	24 BAY STREET, DOUBLE BAY	dwg no	issue
	C	FOR SECTION 34	20.09.21			ABN 94 105 274 235 Doug Lawton Architect No 5665	SHADOWS 9AM	DA100	D
	D	POST S34 REVISIONS	28.09.21						




1 WINTER SOLSTICE - 930am DCP COMPLIANT ENVELOPE







2 WINTER SOLSTICE - 930am REVISED

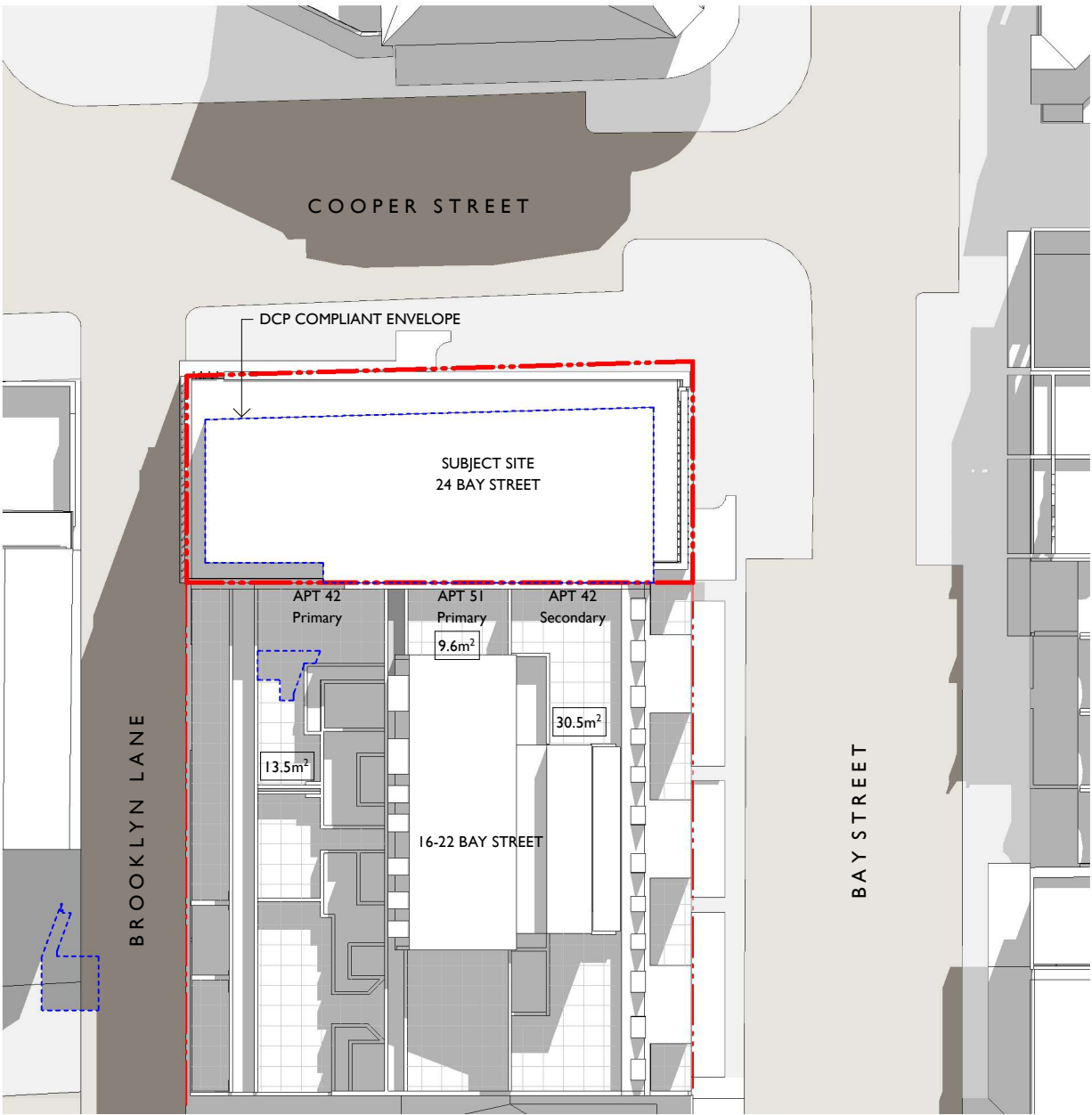
BALCONY AREAS
UNIT 42 Primary - 53m²
UNIT 42 Secondary - 46m²
UNIT 51 Primary - 23m²



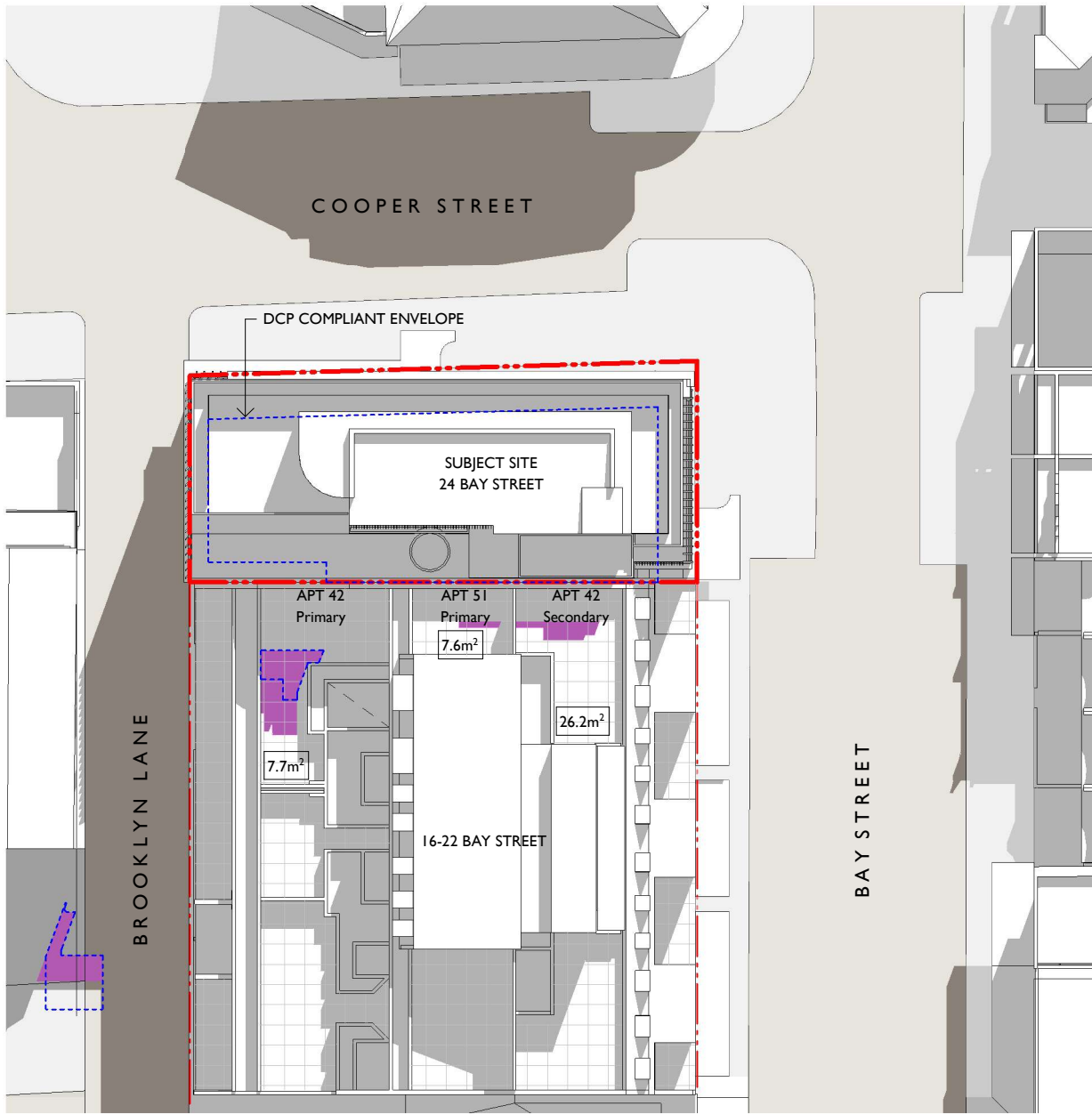
KEY

-  EXISTING SHADOWS
-  OVERSHADOWING WITH DCP COMPLIANT ENVELOPE
-  OVERSHADOWING WITH REVISED MASSING
-  AREA m² IN DIRECT SUN


notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	POST S34 REVISIONS	28.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	address 24 BAY STREET, DOUBLE BAY drawing SHADOWS 930AM	dwg no DAI01	issue A



1 WINTER SOLSTICE - 10am DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 10am REVISED



KEY

- EXISTING SHADOWS
- OVERSHADOWING WITH DCP COMPLIANT ENVELOPE
- OVERSHADOWING WITH REVISED MASSING
- XXm² AREA m² IN DIRECT SUN

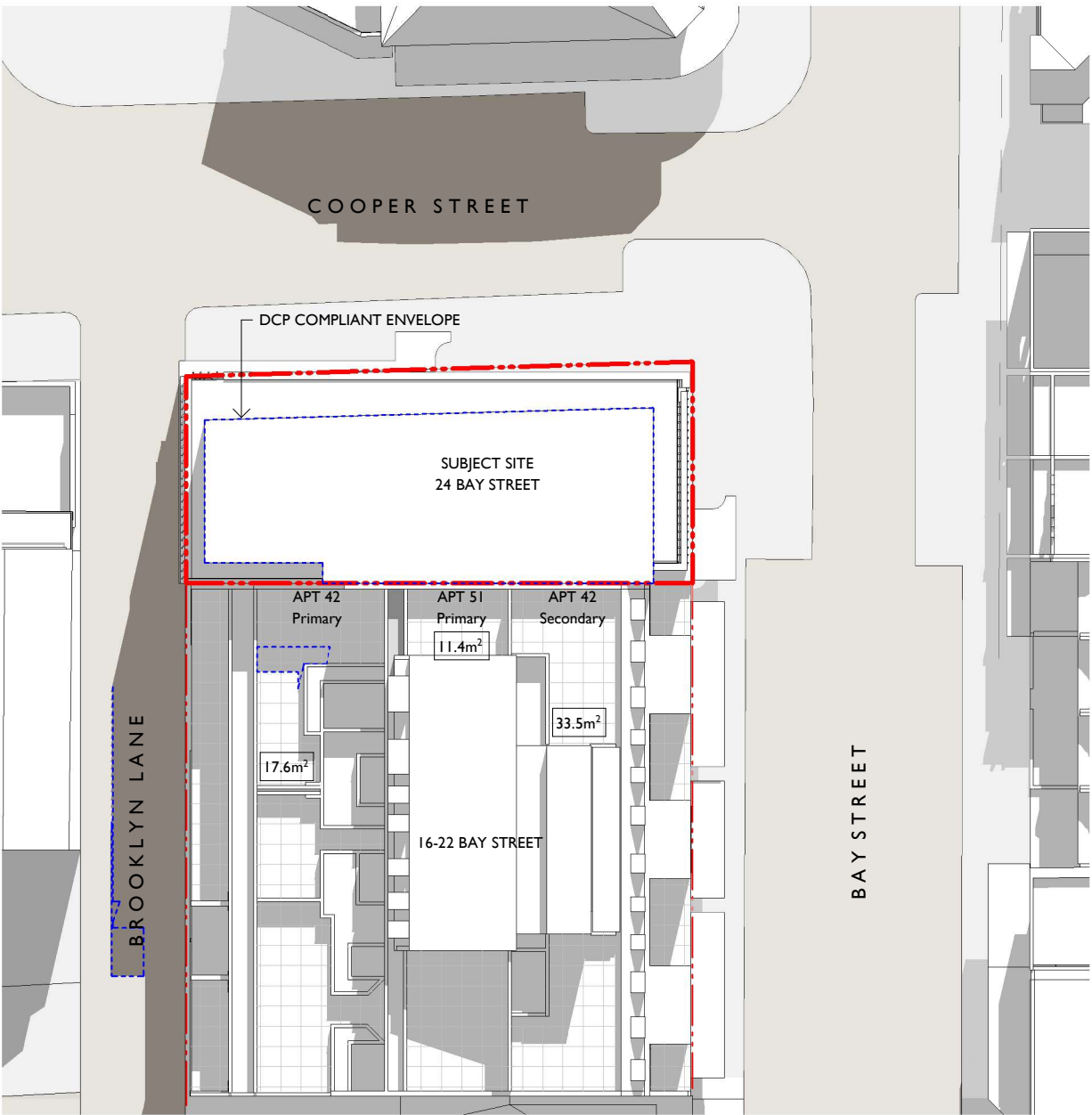
- Revision D
- Revised lift location

- Planters added
- BALCONY AREAS
- UNIT 42 Primary - 53m²

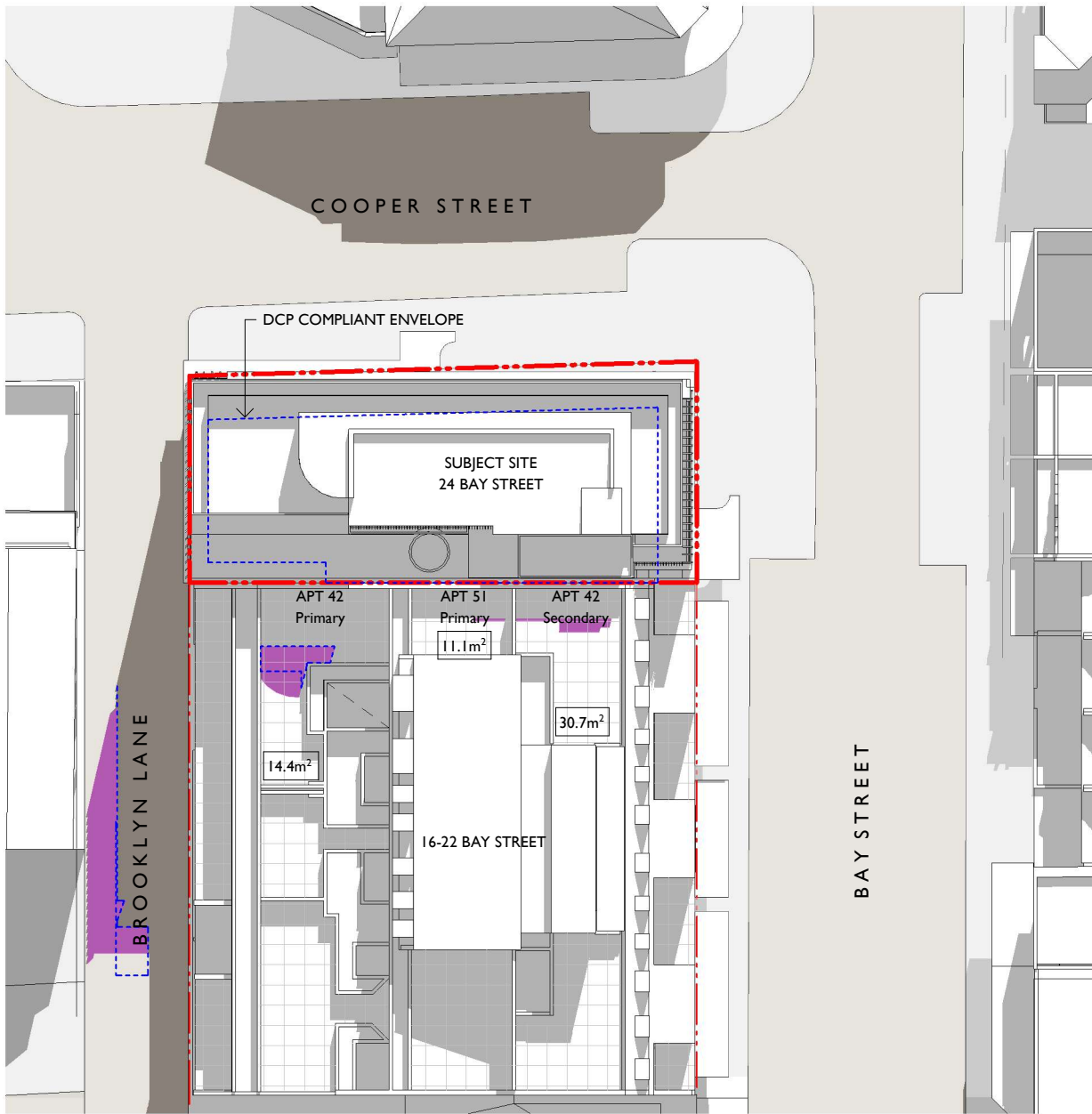
UNIT 42 Secondary - 46m²

UNIT 51 Primary - 23m²

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		Lawton Hurley	project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	WITHOUT PREJUDICE	13.08.21			Architecture Interiors Planning	address	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	FOR REVIEW	13.09.21			Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au	drawing	SHADOWS 10AM	DAI02	D
	C	FOR SECTION 34	20.09.21			ABN 94 105 274 235 Doug Lawton Architect No 5665				
	D	POST S34 REVISIONS	28.09.21							



1 WINTER SOLSTICE - 1030am DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 1030am REVISED

BALCONY AREAS
UNIT 42 Primary - 53m²
UNIT 42 Secondary - 46m²
UNIT 51 Primary - 23m²

KEY

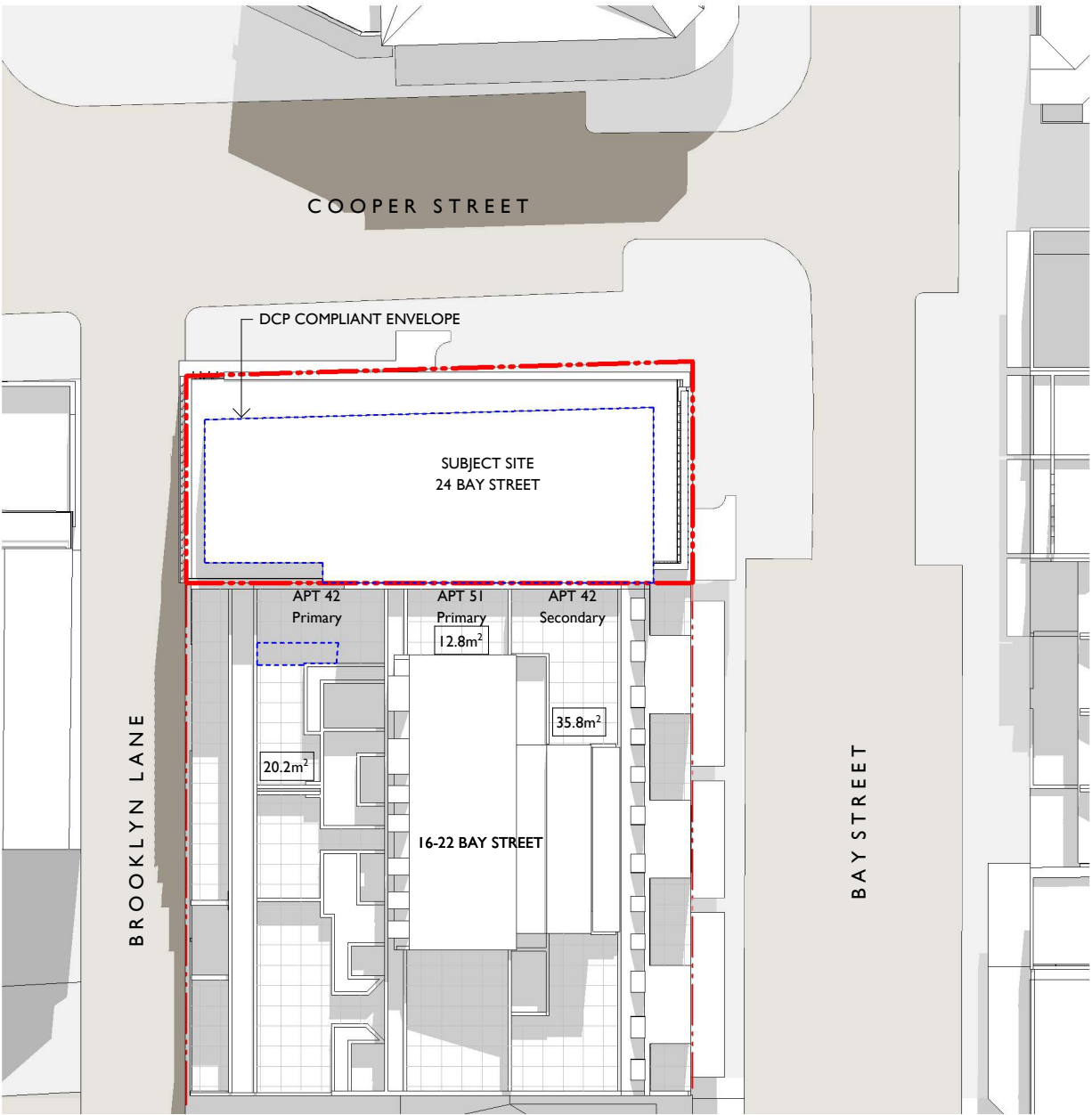
EXISTING SHADOWS

OVERSHADOWING WITH DCP COMPLIANT ENVELOPE

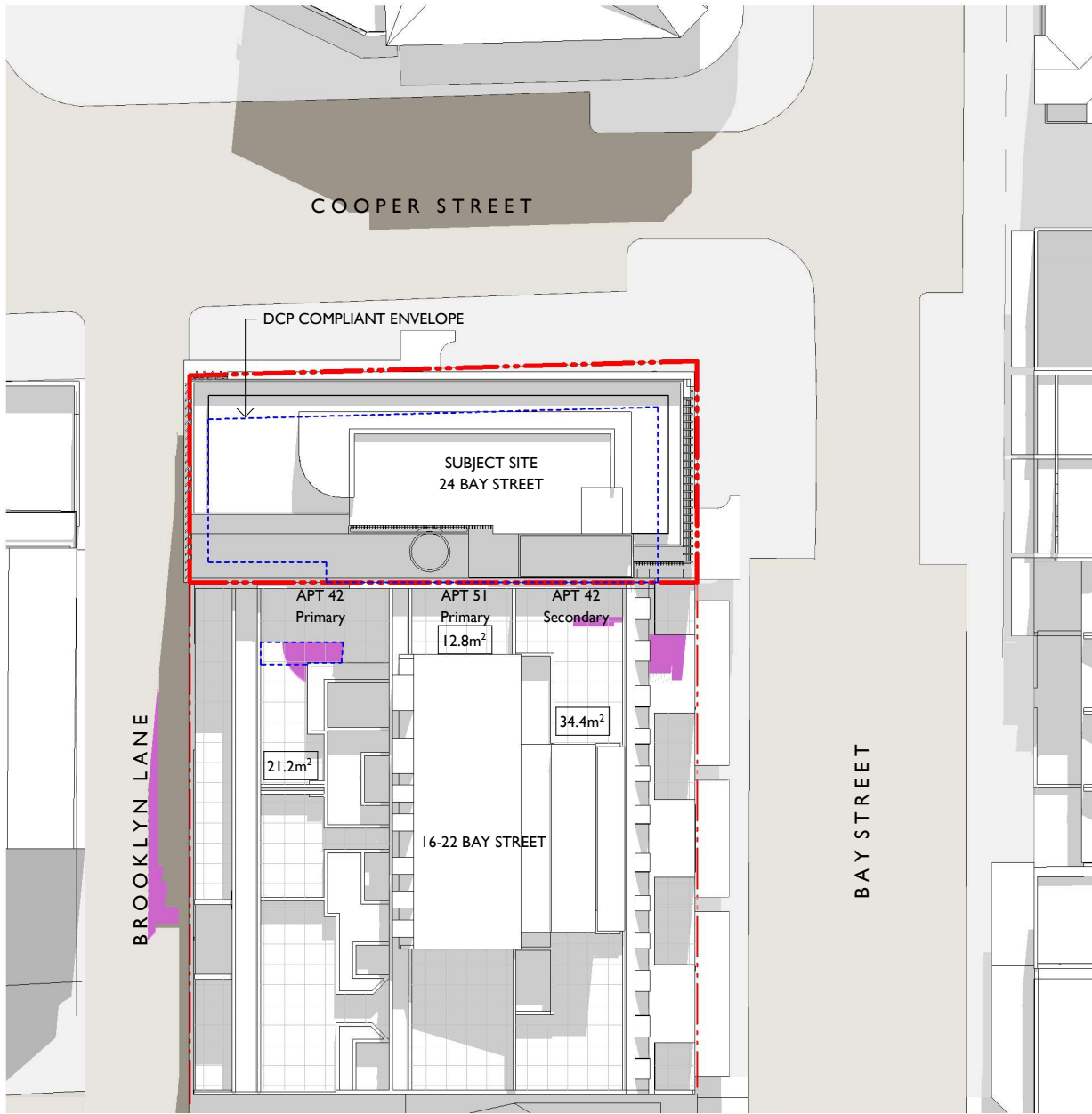
OVERSHADOWING WITH REVISED MASSING

XXm² AREA m² IN DIRECT SUN

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY	Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	POST S34 REVISIONS	28.09.21		address	24 BAY STREET, DOUBLE BAY	dwg no	DA103	issue
					drawing	SHADOWS 1030AM			



1 WINTER SOLSTICE - 11am DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 11am REVISED

Revision D
- Revised lift location
- Planters added

BALCONY AREAS
UNIT 42 Primary - 53m²
UNIT 42 Secondary - 46m²
UNIT 51 Primary - 23m²

N

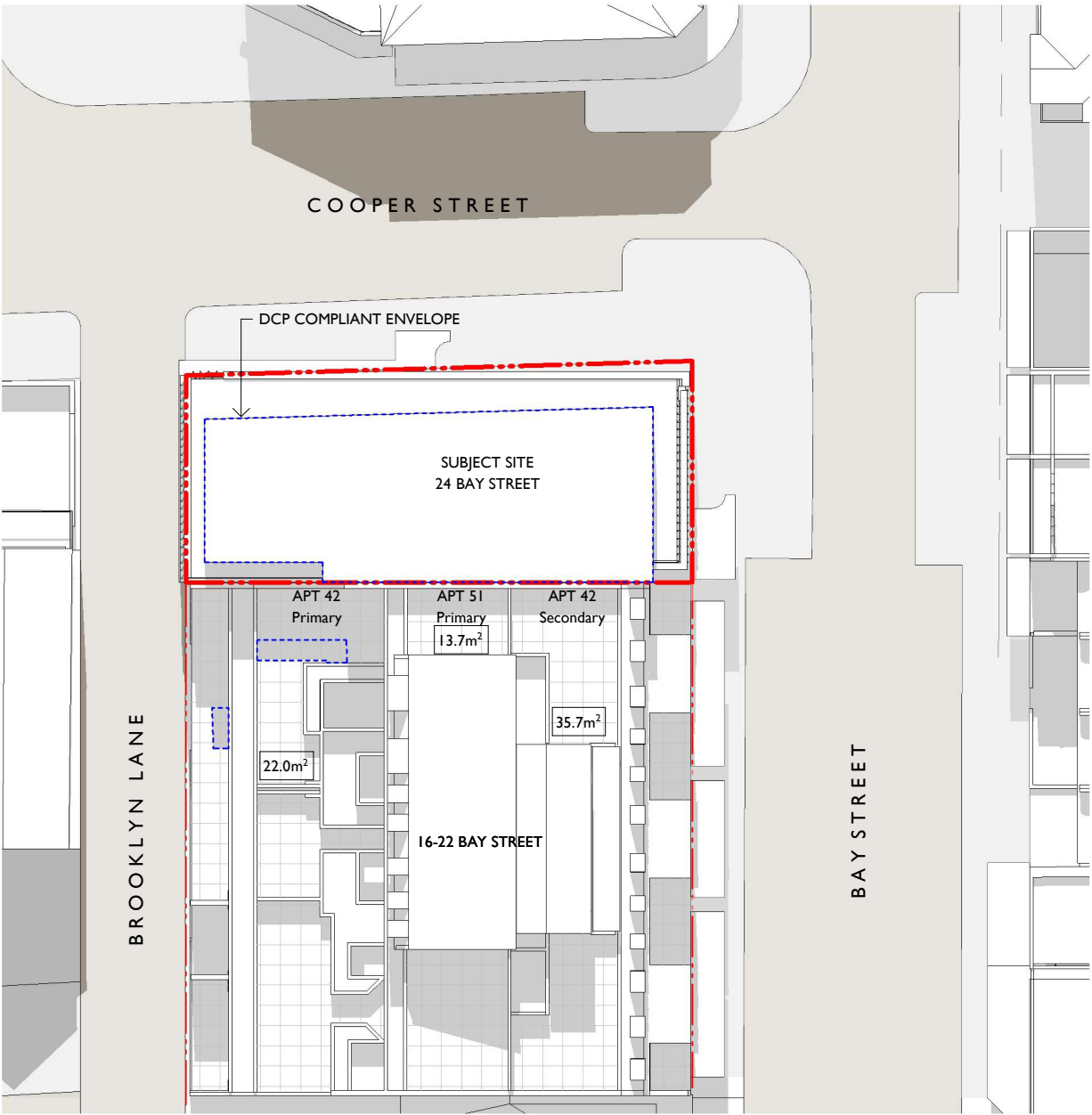
EXISTING SHADOWS

OVERSHADOWING WITH DCP COMPLIANT ENVELOPE

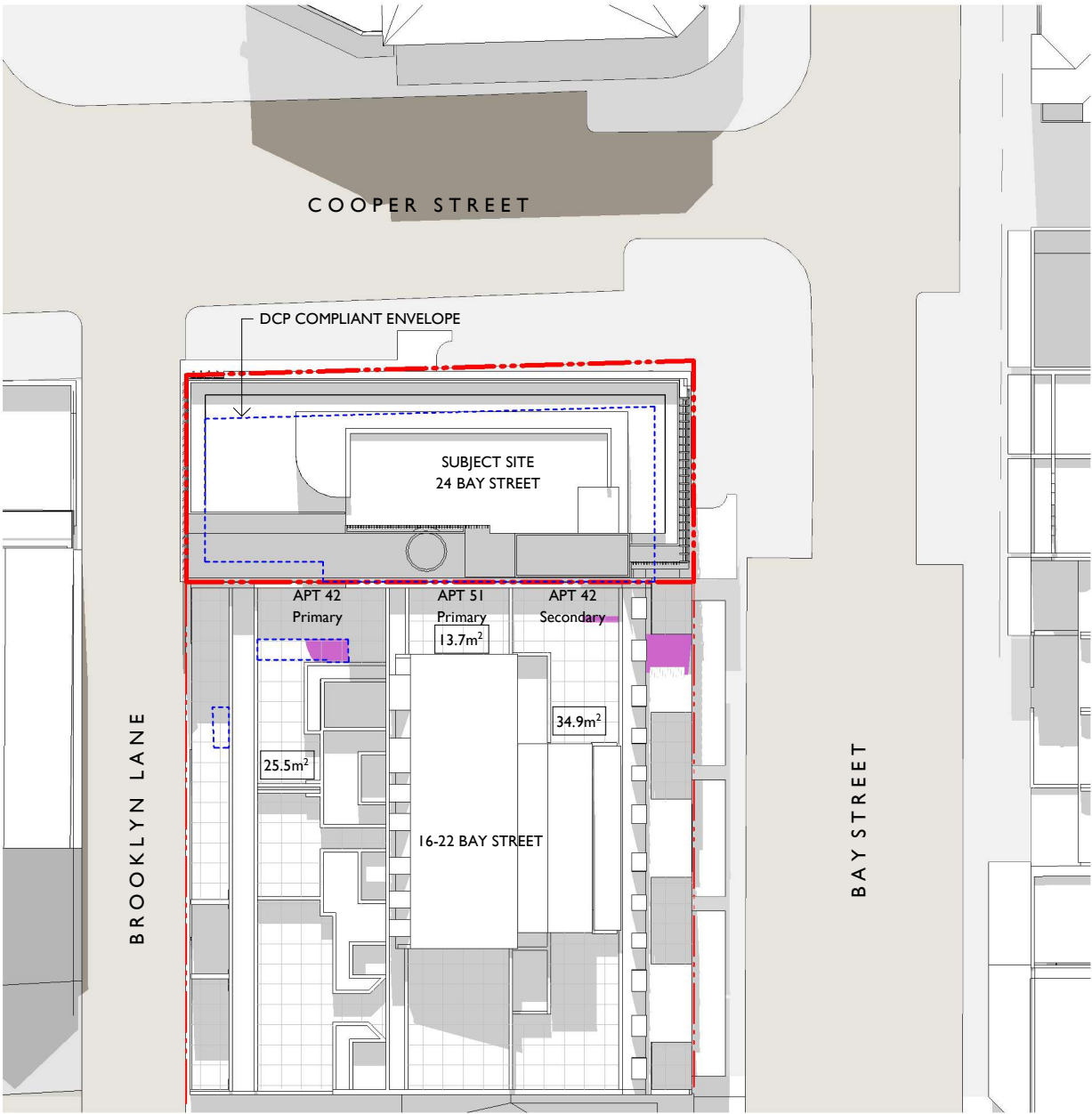
OVERSHADOWING WITH REVISED MASSING

XXm² AREA m² IN DIRECT SUN

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	WITHOUT PREJUDICE	13.08.21			Lawton Hurley Architecture Interiors Planning	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	FOR REVIEW	13.09.21			Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au		DAI04	D
	C	FOR SECTION 34	20.09.21			ABN 94 105 274 235 Doug Lawton Architect No 5665	SHADOWS 11AM		
	D	POST S34 REVISIONS	28.09.21						




1 WINTER SOLSTICE - 1130am DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 1130am REVISED

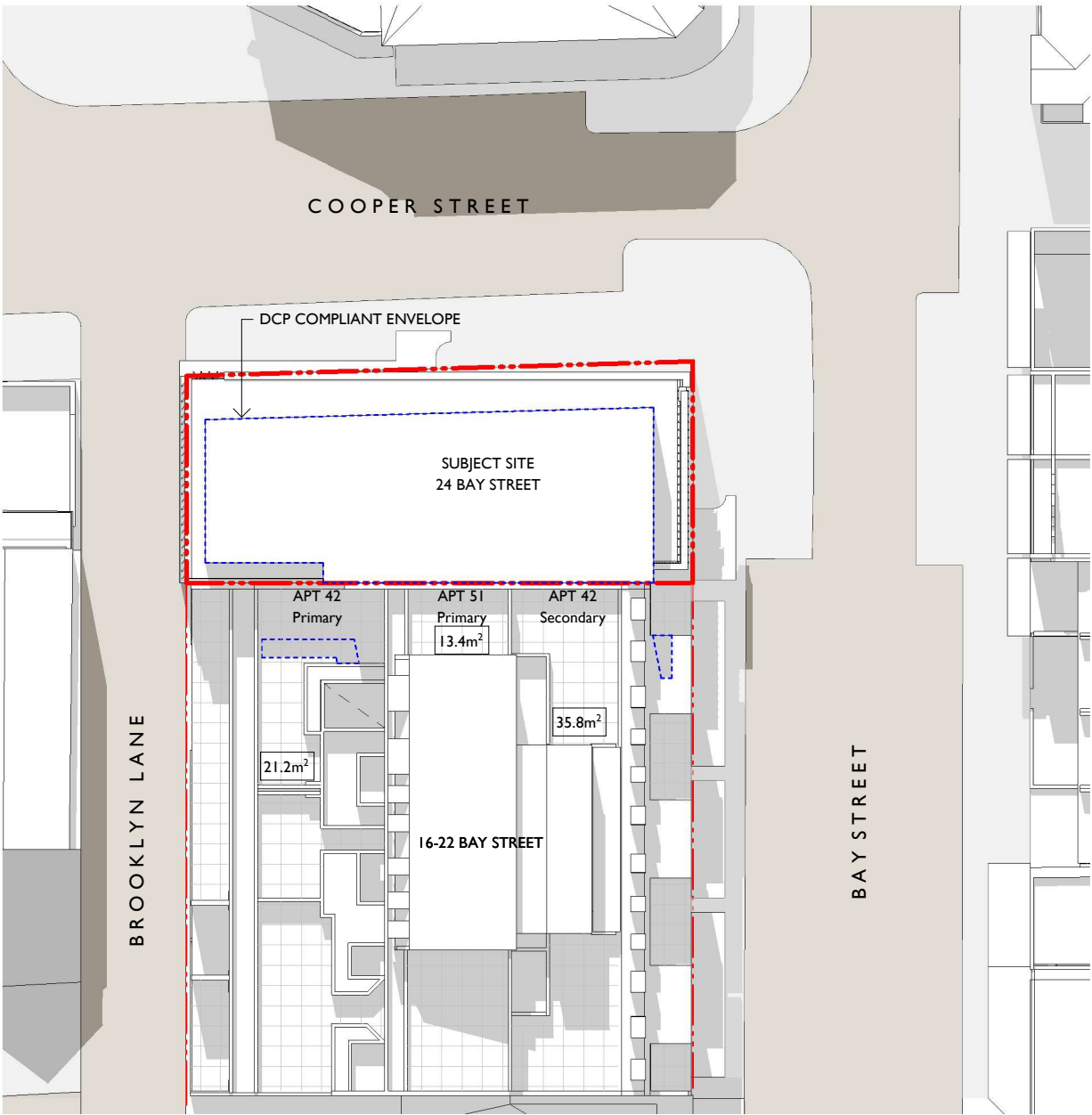
BALCONY AREAS
UNIT 42 Primary - 53m²
UNIT 42 Secondary - 46m²
UNIT 51 Primary - 23m²



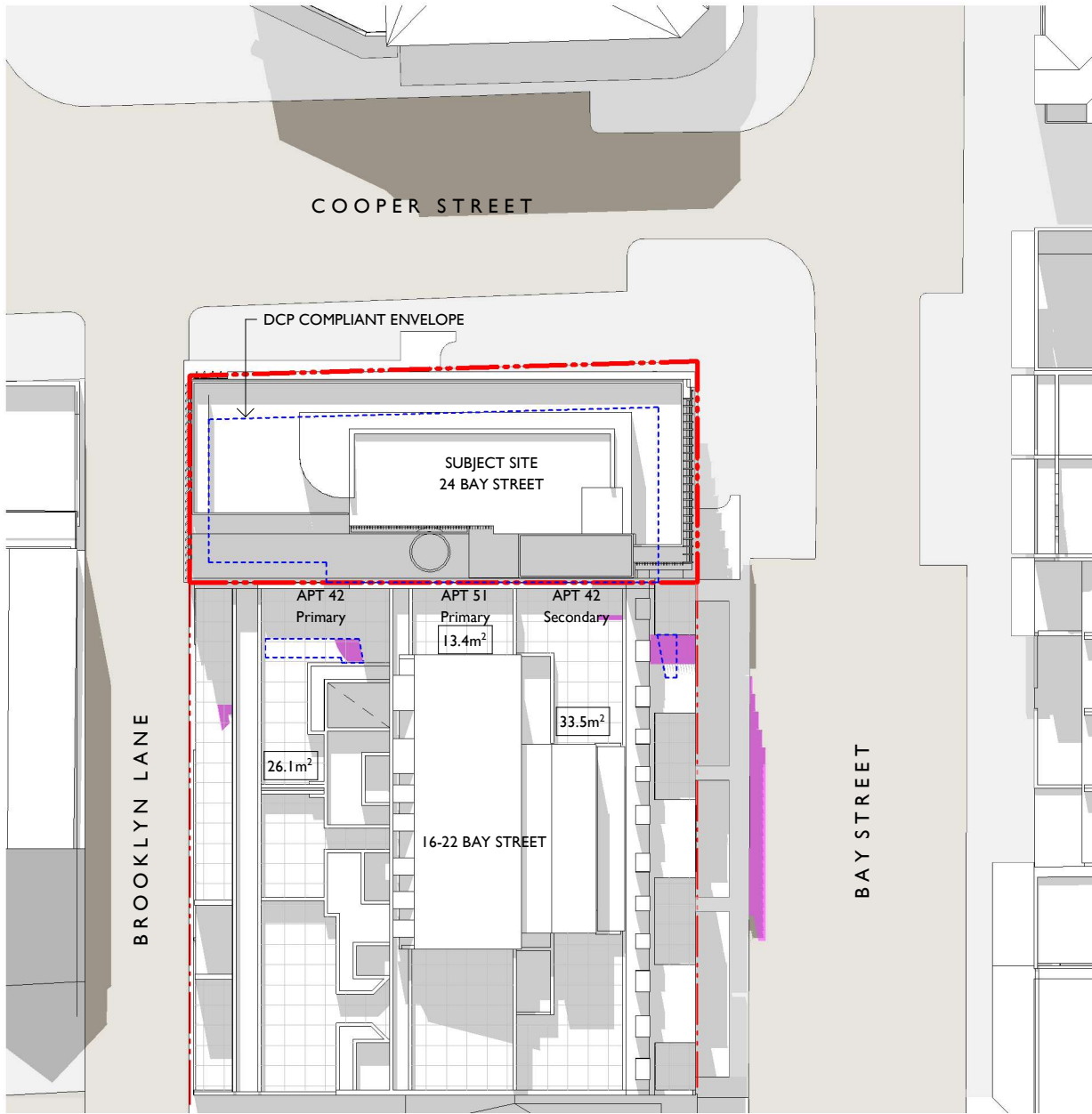
KEY

- EXISTING SHADOWS
- OVERSHADOWING WITH DCP COMPLIANT ENVELOPE
- OVERSHADOWING WITH REVISED MASSING
- XXm² AREA m² IN DIRECT SUN

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	POST S34 REVISIONS	28.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	24 BAY STREET, DOUBLE BAY	dwg no DAI05	issue A
						drawing	SHADOWS 1130AM		



1 WINTER SOLSTICE - 12pm DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 12pm REVISED

N

EXISTING SHADOWS

OVERSHADOWING WITH DCP COMPLIANT ENVELOPE

OVERSHADOWING WITH REVISED MASSING

XXm² AREA m² IN DIRECT SUN

Revision D

- Revised lift location

- Planters added

BALCONY AREAS

UNIT 42 Primary - 53m²

UNIT 42 Secondary - 46m²

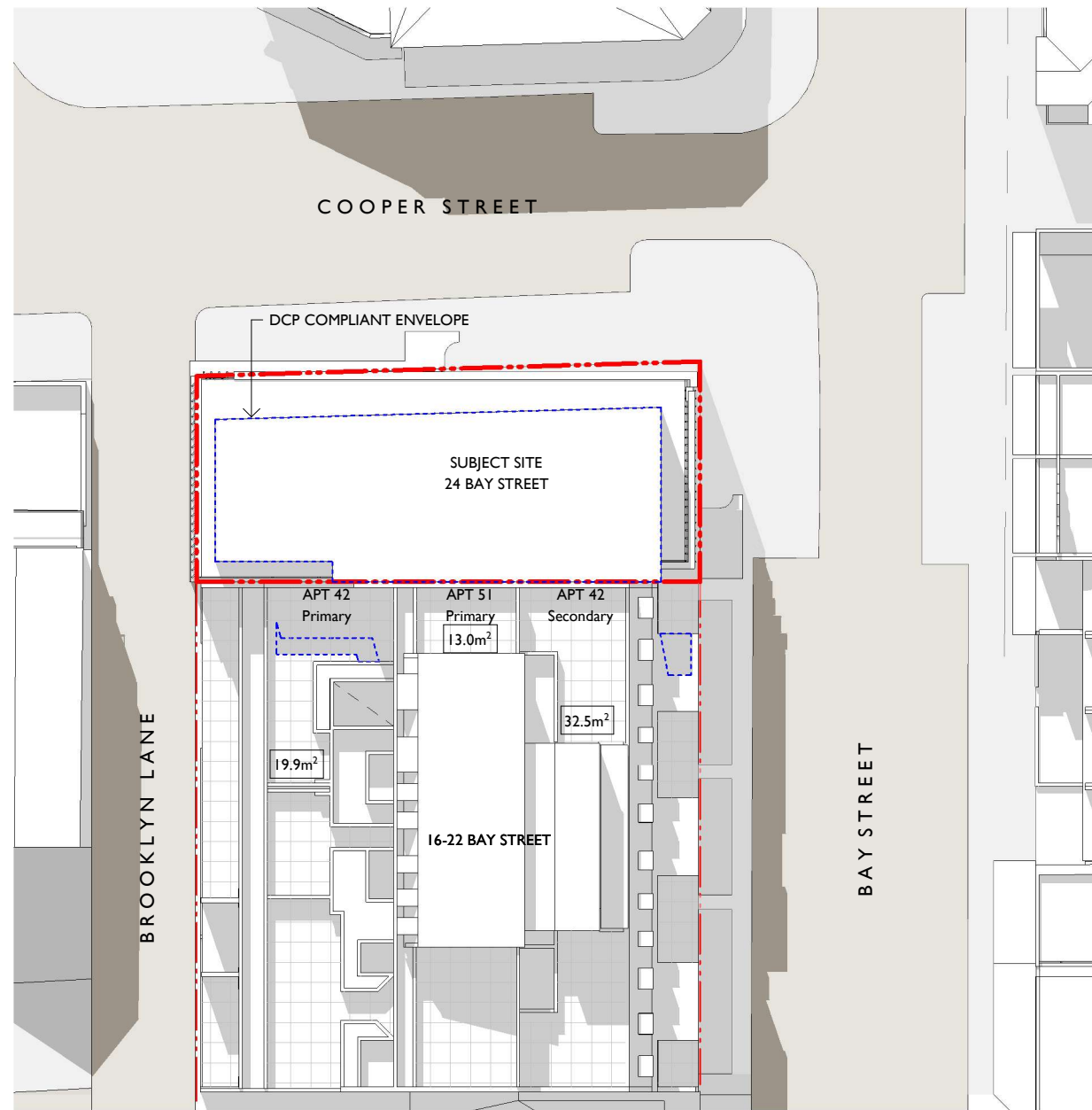
UNIT 51 Primary - 23m²

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	WITHOUT PREJUDICE	13.08.21			address	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	FOR REVIEW	13.09.21			drawing	SHADOWS 12PM	DAI06	D
	C	FOR SECTION 34	20.09.21						
	D	POST S34 REVISIONS	28.09.21						

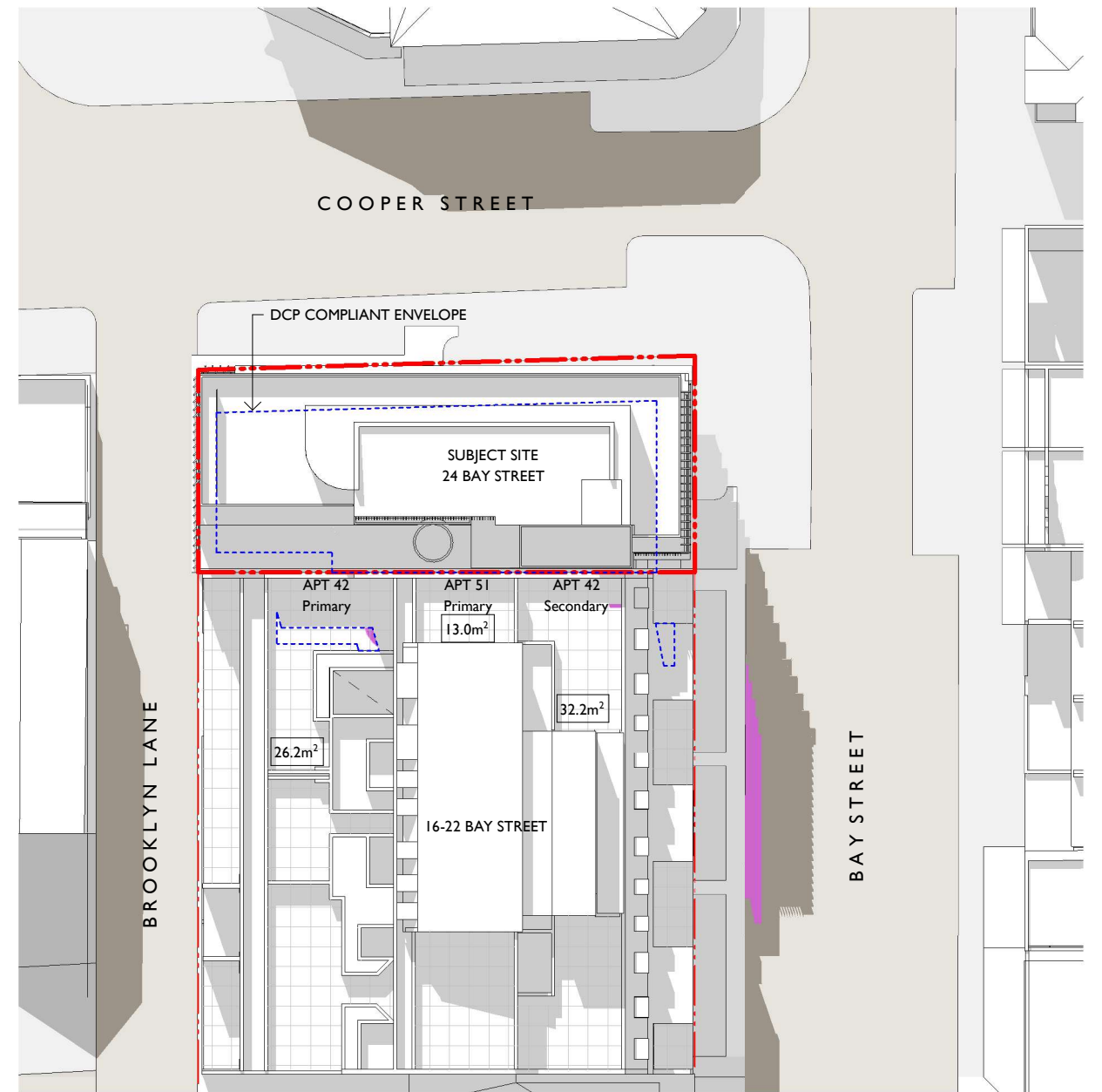
Lawton Hurley

Architecture Interiors Planning

Studio 3.03, 30-36 Bay Street
Double Bay NSW 2028
T 61 2 9360 5300
info@lawtonhurley.com.au
ABN 94 105 274 235
Doug Lawton Architect No 5665



1 WINTER SOLSTICE - 1230pm DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 1230pm REVISED

BALCONY AREAS

UNIT 42 Primary - 53m²
 UNIT 42 Secondary - 46m²
 UNIT 51 Primary - 23m²

KEY

N

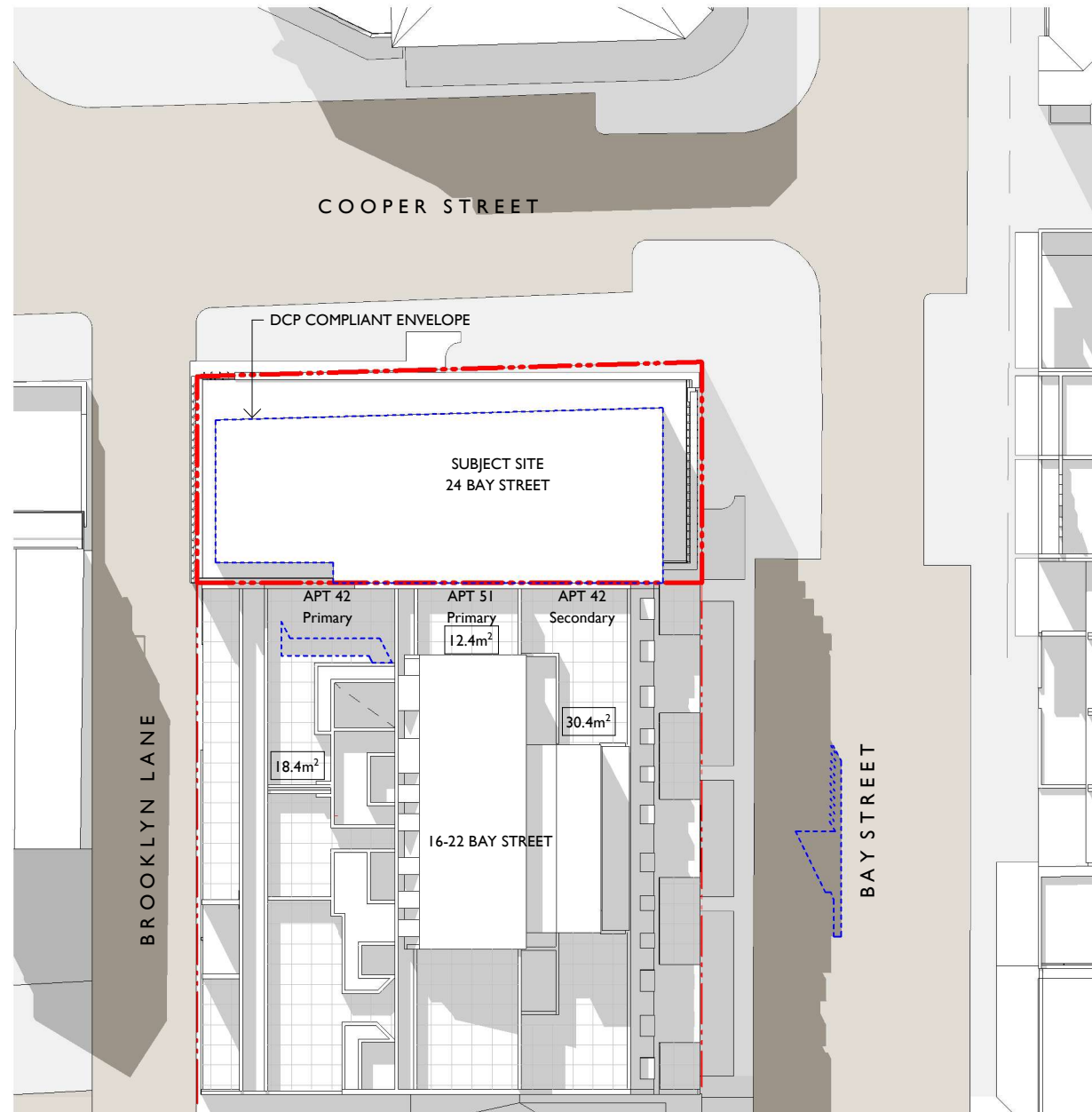
EXISTING SHADOWS

OVERSHADOWING WITH DCP COMPLIANT ENVELOPE

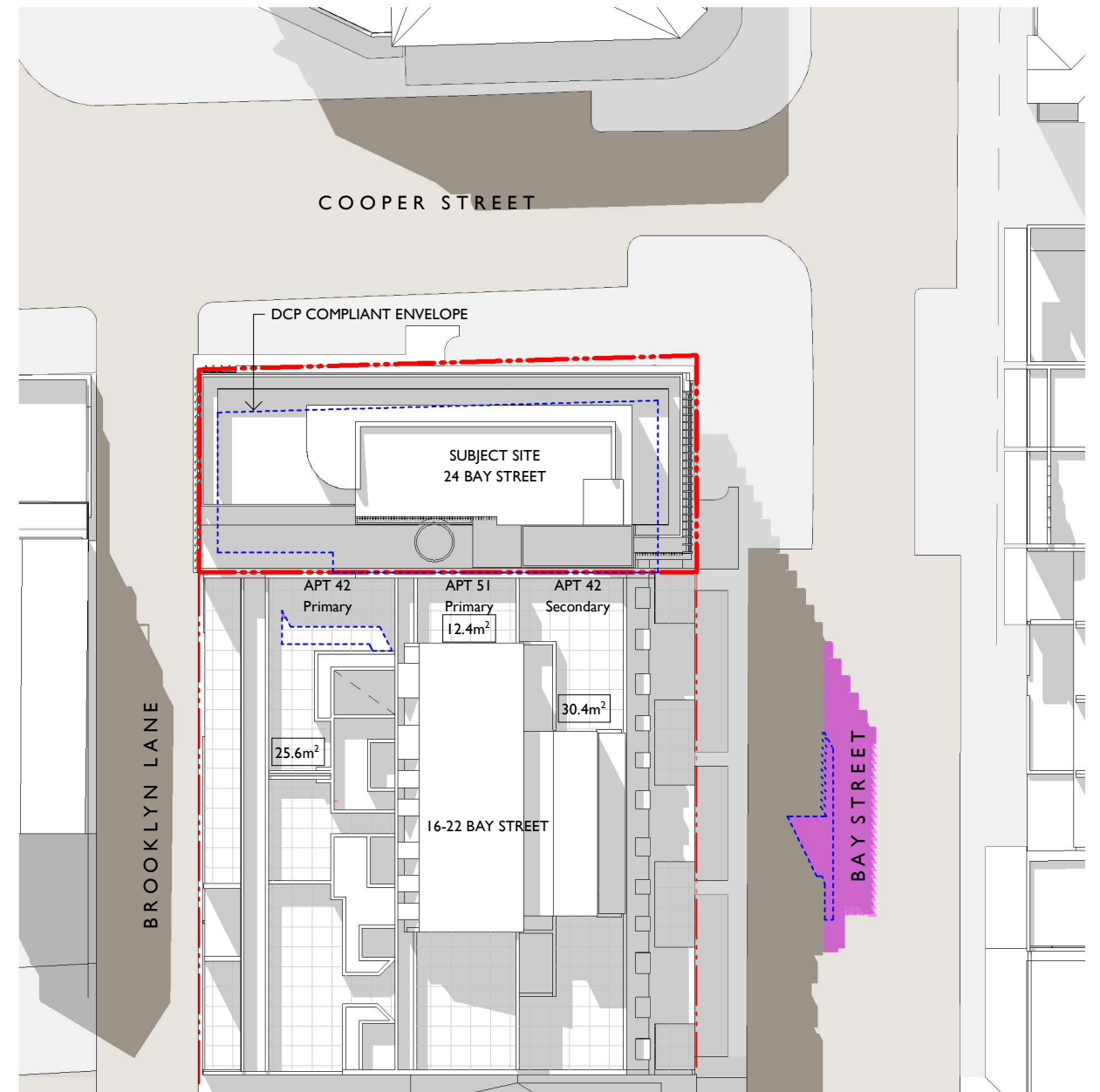
OVERSHADOWING WITH REVISED MASSING

XXm² AREA m² IN DIRECT SUN

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	POST S34 REVISIONS	28.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	address 24 BAY STREET, DOUBLE BAY drawing SHADOWS 1230PM	dwg no DAI07	issue A



1 WINTER SOLSTICE - 1pm DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 1pm REVISED

KEY

N

EXISTING SHADOWS

OVERSHADOWING WITH DCP COMPLIANT ENVELOPE

OVERSHADOWING WITH REVISED MASSING

AREA m² IN DIRECT SUN

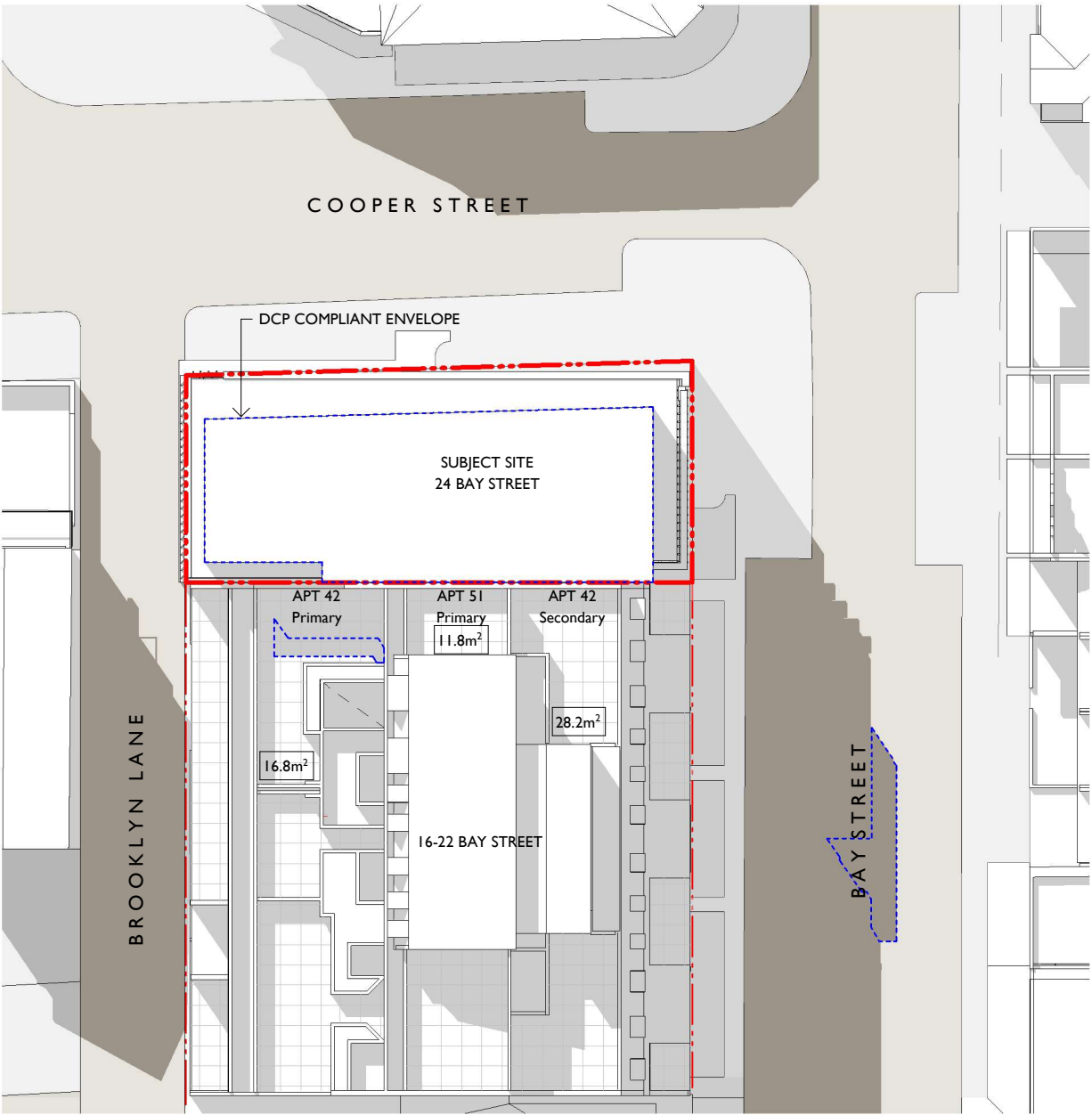
Revision D

- Revised lift location
- Planters added

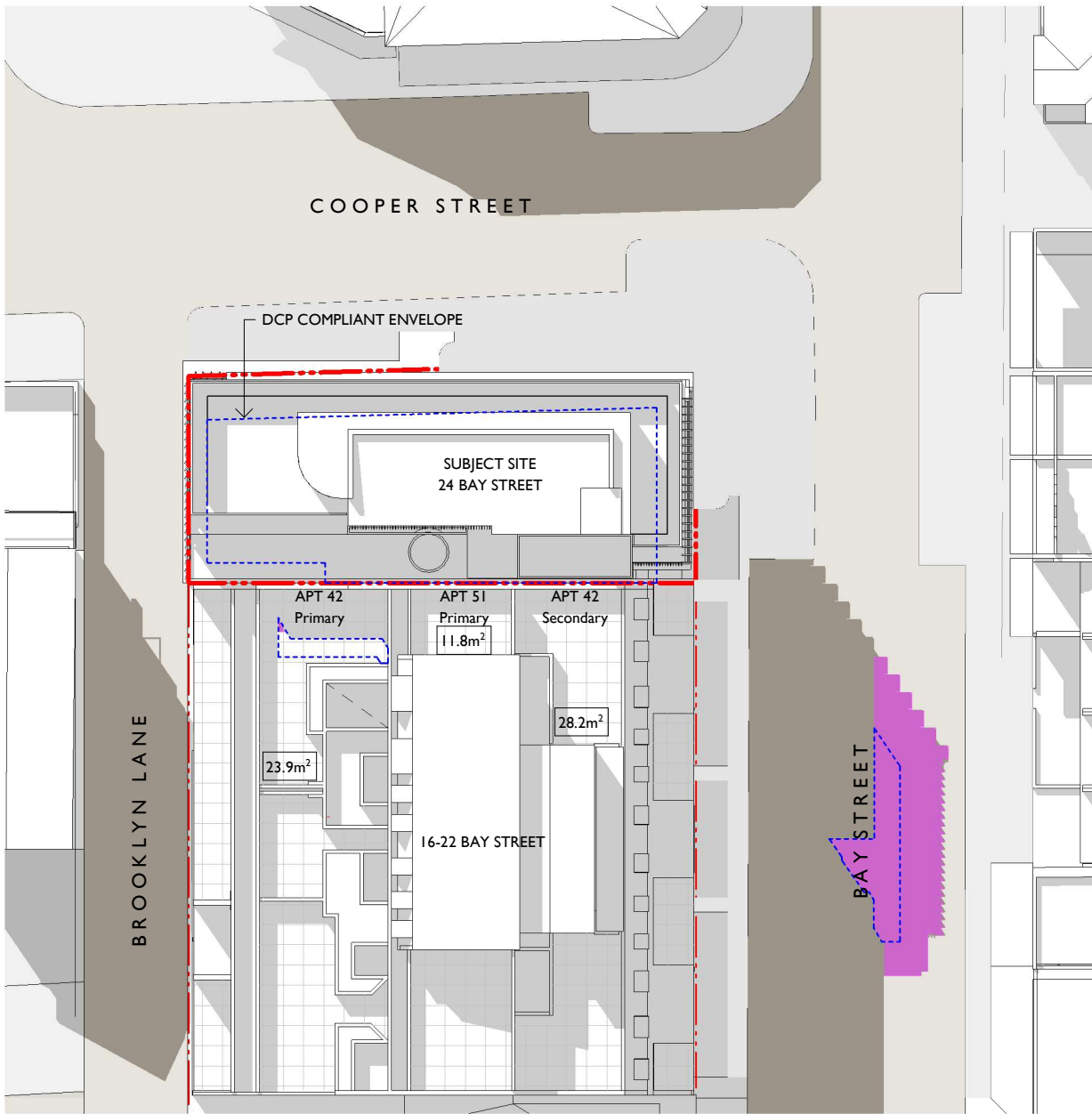
BALCONY AREAS

- UNIT 42 Primary - 53m²
- UNIT 42 Secondary - 46m²
- UNIT 51 Primary - 23m²

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	WITHOUT PREJUDICE	13.08.21			Lawton Hurley Architecture Interiors Planning	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	FOR REVIEW	13.09.21			Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au		DAI08	D
	C	FOR SECTION 34	20.09.21			ABN 94 105 274 235 Doug Lawton Architect No 5665	SHADOWS 1PM		
	D	POST S34 REVISIONS	28.09.21						




1 WINTER SOLSTICE - 130pm DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 130pm REVISED

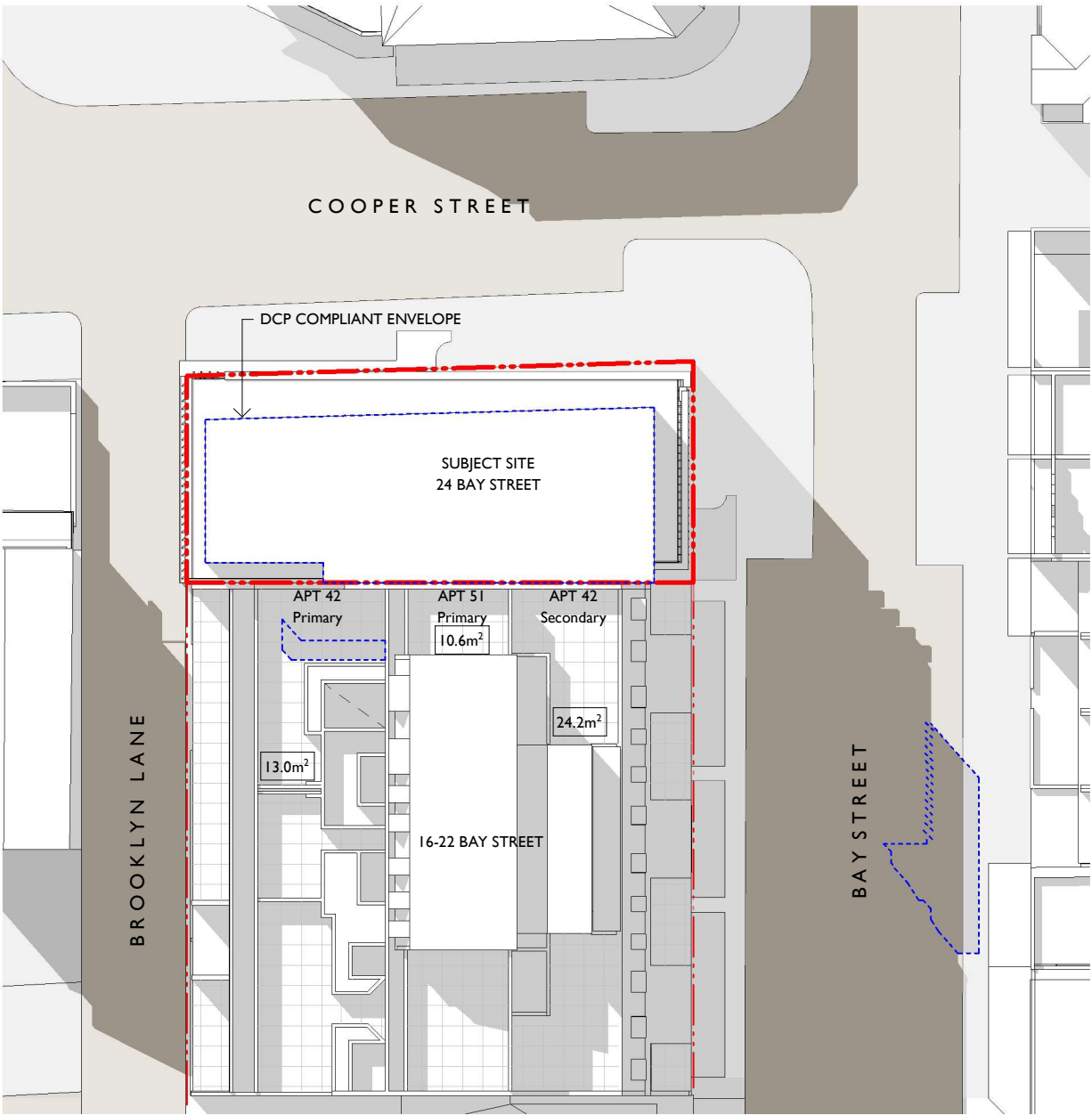
BALCONY AREAS
UNIT 42 Primary - 53m²
UNIT 42 Secondary - 46m²
UNIT 51 Primary - 23m²



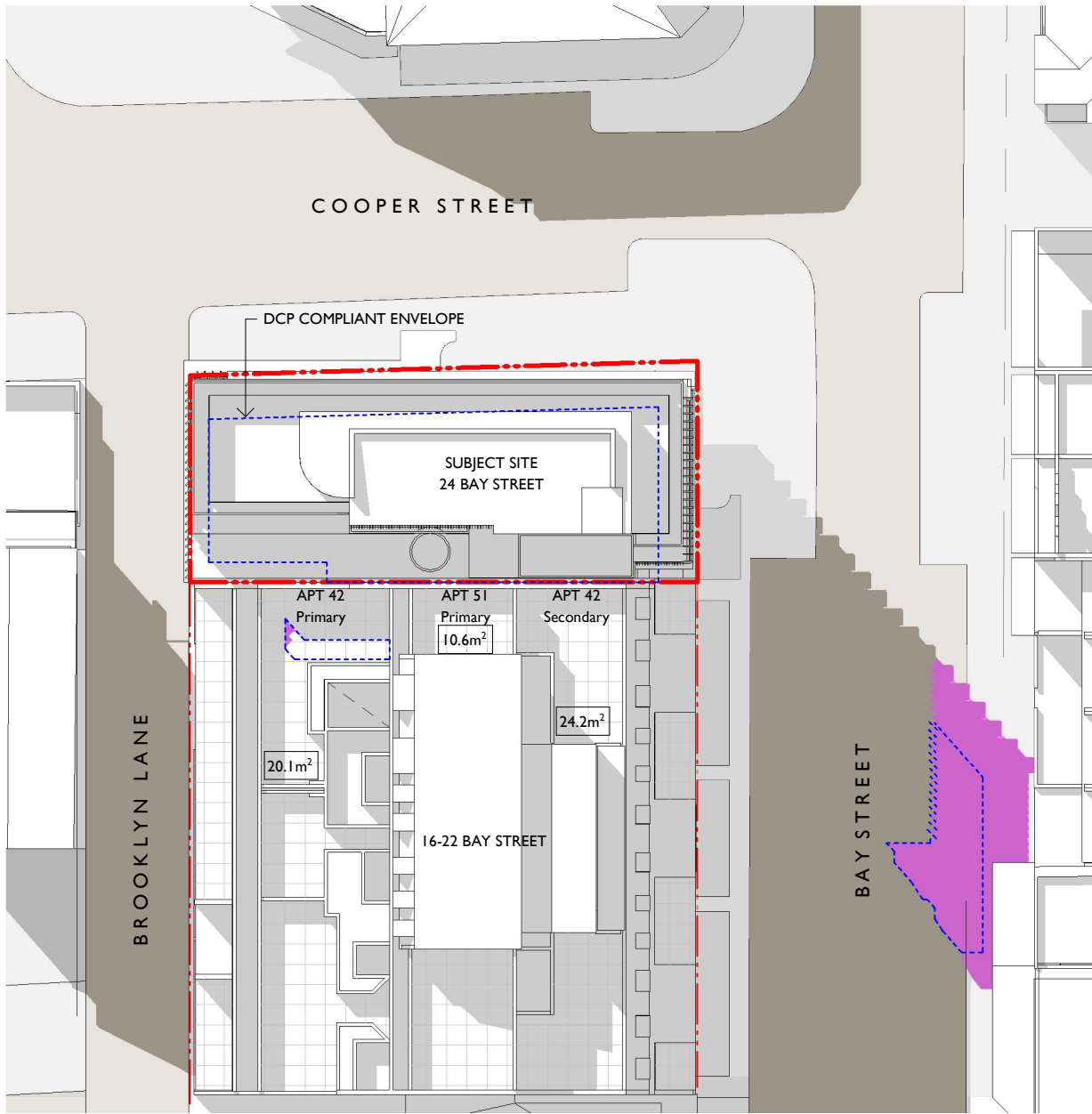
KEY

- EXISTING SHADOWS
- OVERSHADOWING WITH DCP COMPLIANT ENVELOPE
- OVERSHADOWING WITH REVISED MASSING
- XXm² AREA m² IN DIRECT SUN


notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	POST S34 REVISIONS	28.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	24 BAY STREET, DOUBLE BAY	dwg no DAI09	issue A



1 WINTER SOLSTICE - 2pm DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 2pm REVISED



KEY

- EXISTING SHADOWS
- OVERSHADOWING WITH DCP COMPLIANT ENVELOPE
- OVERSHADOWING WITH REVISED MASSING
- XXm² AREA m² IN DIRECT SUN

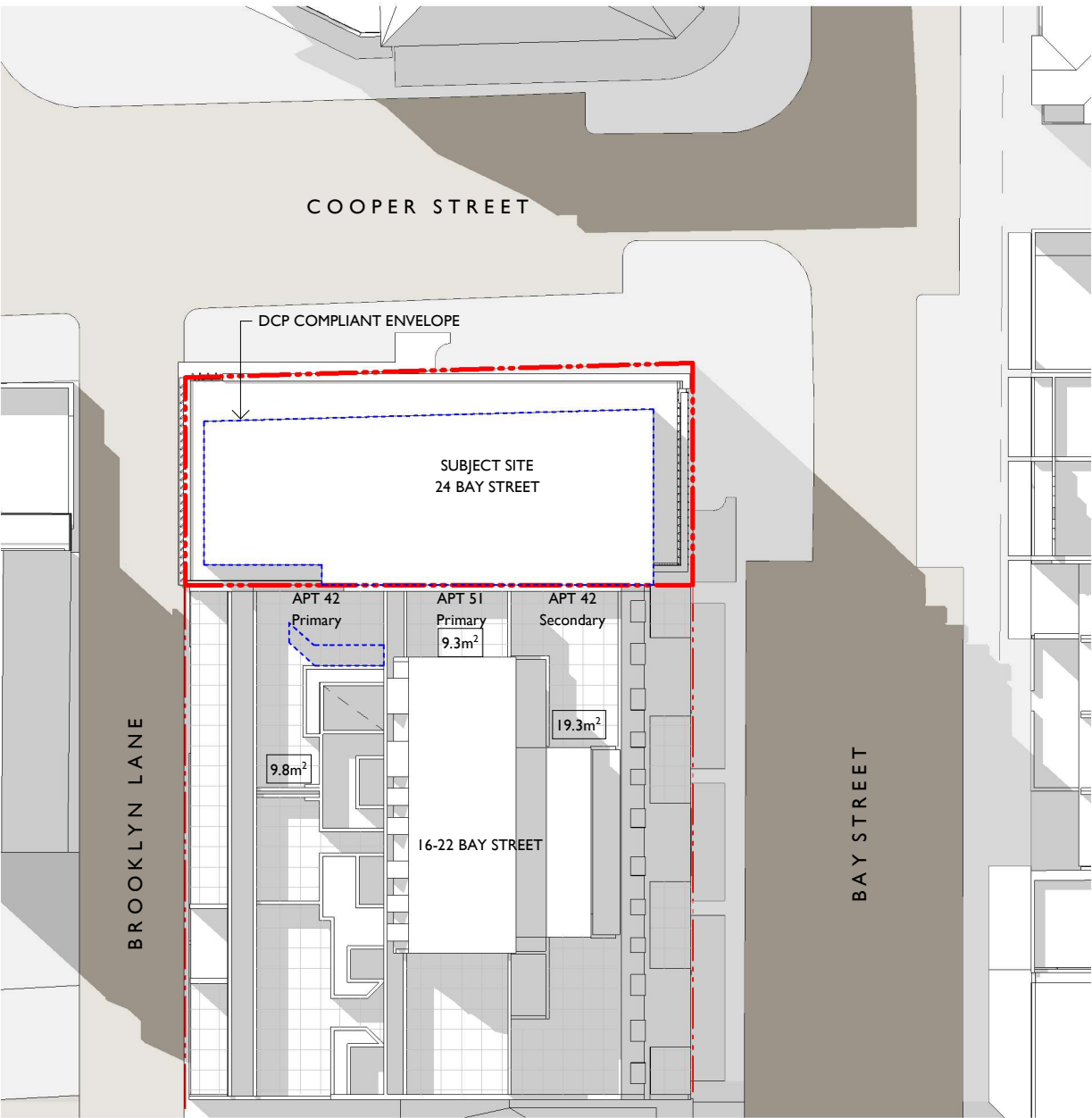
- Revision D
- Revised lift location

- Planters added
- BALCONY AREAS
- UNIT 42 Primary - 53m²

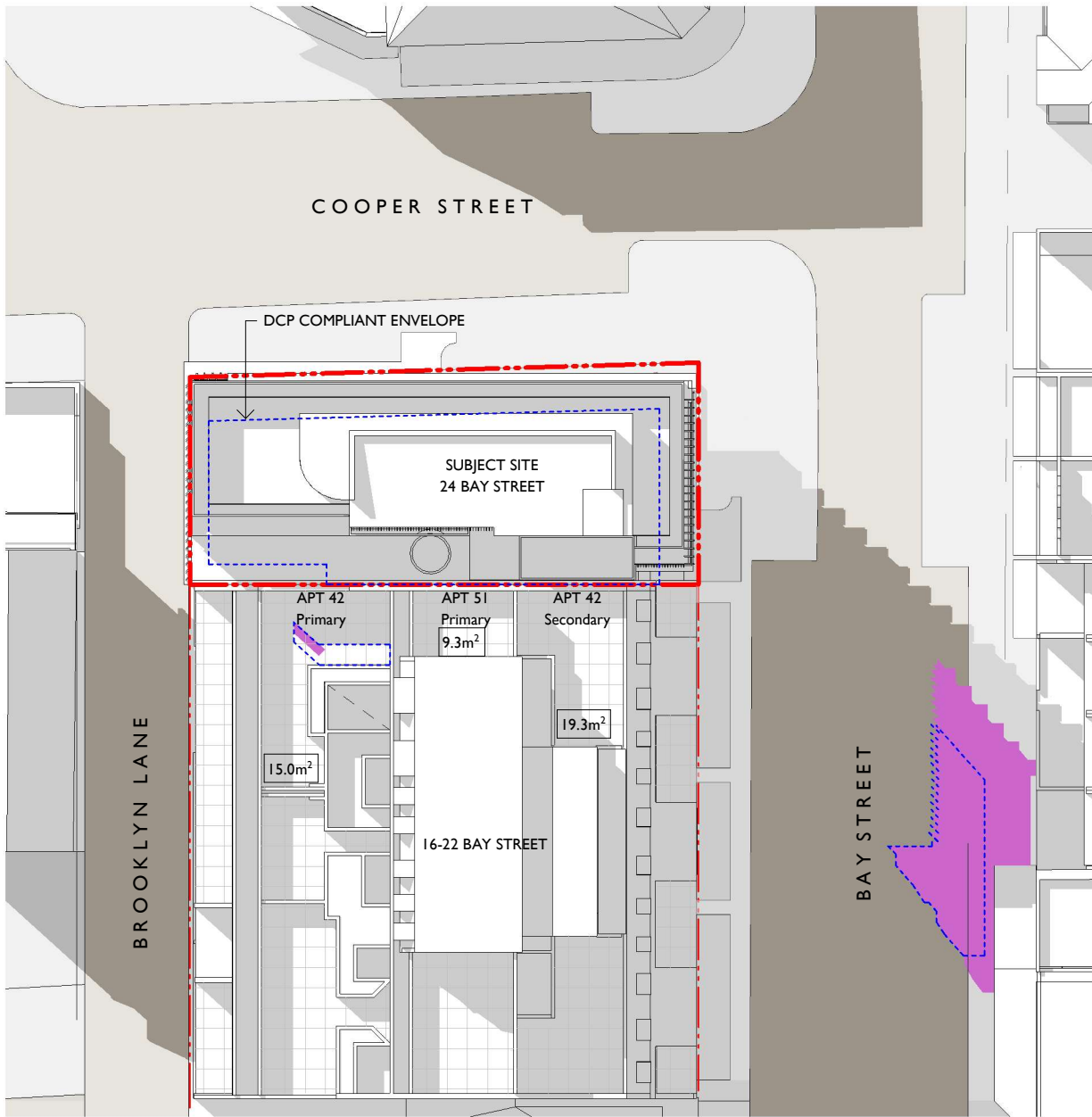
UNIT 42 Secondary - 46m²

UNIT 51 Primary - 23m²

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	WITHOUT PREJUDICE	13.08.21			Lawton Hurley Architecture Interiors Planning	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	FOR REVIEW	13.09.21			Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au		DA110	D
	C	FOR SECTION 34	20.09.21			ABN 94 105 274 235 Doug Lawton Architect No 5665			
	D	POST S34 REVISIONS	28.09.21				SHADOWS 2PM		



1 WINTER SOLSTICE - 230pm DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 230pm REVISED

BALCONY AREAS
UNIT 42 Primary - 53m²
UNIT 42 Secondary - 46m²
UNIT 51 Primary - 23m²

N

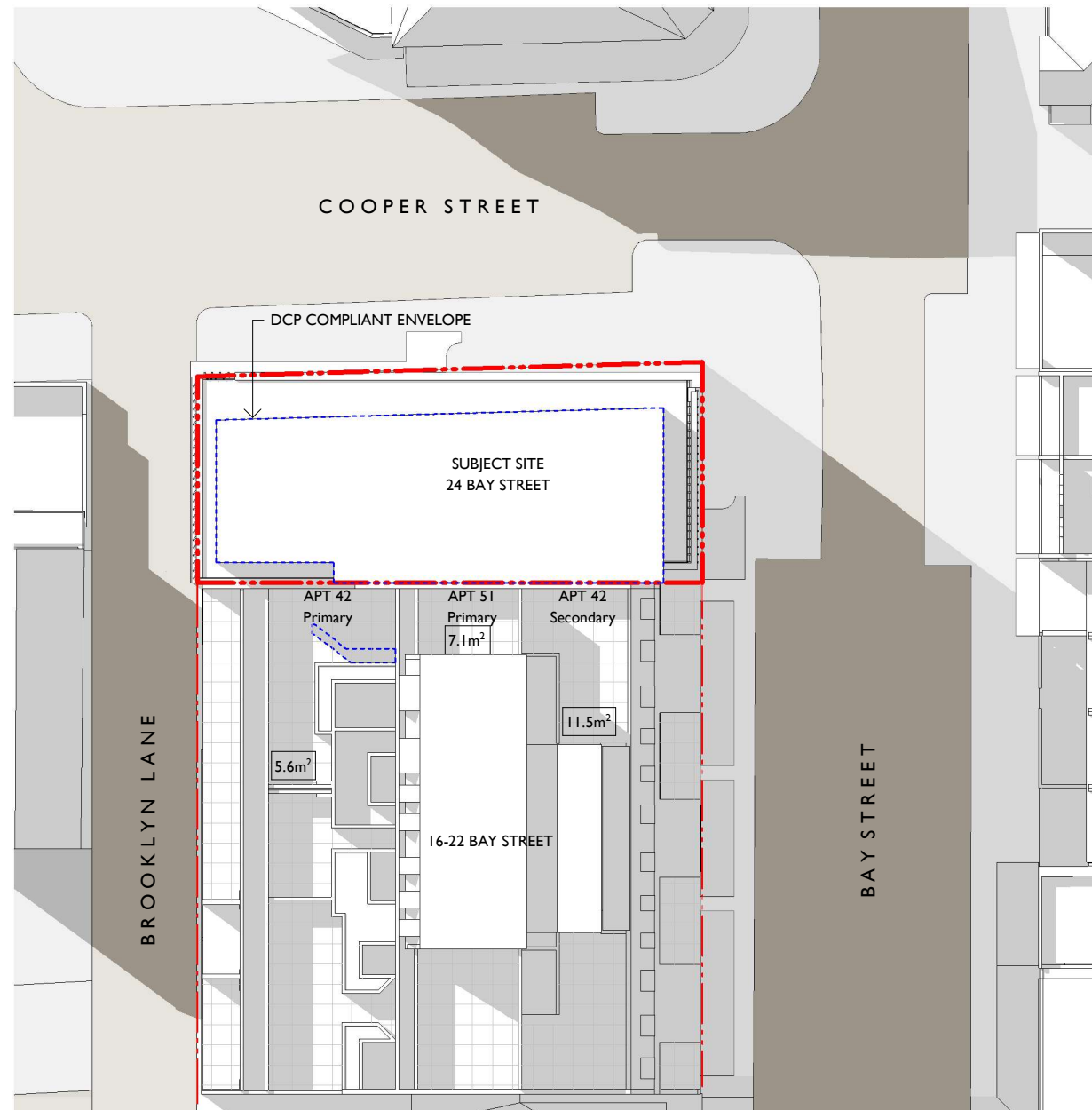
EXISTING SHADOWS

OVERSHADOWING WITH DCP COMPLIANT ENVELOPE

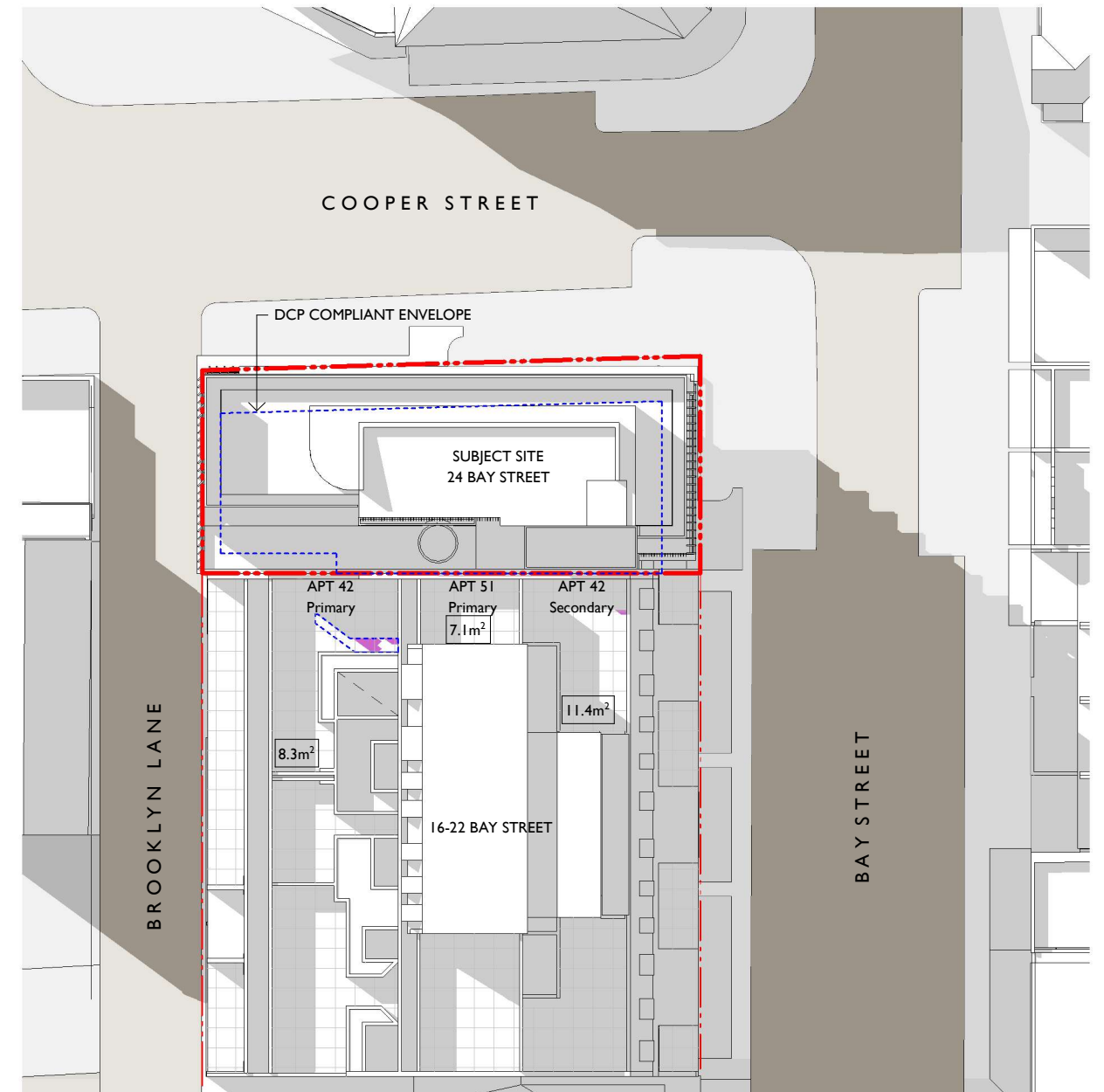
OVERSHADOWING WITH REVISED MASSING

XXm² AREA m² IN DIRECT SUN

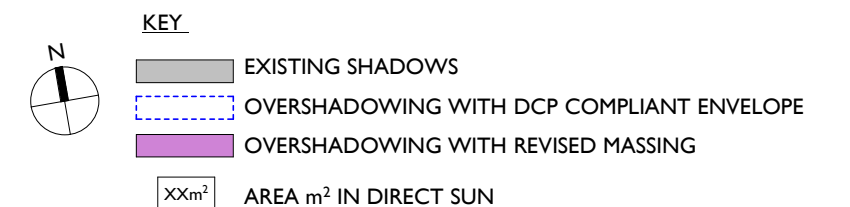
notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	POST S34 REVISIONS	28.09.21			Lawton Hurley Architecture Interiors Planning Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au ABN 94 105 274 235 Doug Lawton Architect No 5665	24 BAY STREET, DOUBLE BAY	dwg no DA111	issue A



1 WINTER SOLSTICE - 3pm DCP COMPLIANT ENVELOPE



2 WINTER SOLSTICE - 3pm REVISED



Revision D

- Revised lift location
- Planters added

BALCONY AREAS

- UNIT 42 Primary - 53m²
- UNIT 42 Secondary - 46m²
- UNIT 51 Primary - 23m²

notes	issue	amendment	date issued	24 BAY STREET, DOUBLE BAY		project	PROPOSED REFURBISHMENT	scale 1 : 400 on A3	job no J316
do not scale off this drawing used figured dimensions only verify dimensions on site resolve discrepancies with architect before proceeding copyright of this drawing remains vested with Lawton Hurley Pty Ltd Doug Lawton Registration No 5665	A	WITHOUT PREJUDICE	13.08.21			Lawton Hurley Architecture Interiors Planning	24 BAY STREET, DOUBLE BAY	dwg no	issue
	B	FOR REVIEW	13.09.21			Studio 3.03, 30-36 Bay Street Double Bay NSW 2028 T 61 2 9360 5300 info@lawtonhurley.com.au		DA112	D
	C	FOR SECTION 34	20.09.21			ABN 94 105 274 235 Doug Lawton Architect No 5665			
	D	POST S34 REVISIONS	28.09.21				SHADOWS 3PM		